

AGENDA  
BOARD OF CITY COMMISSIONERS  
March 17, 2014 AT 6:30 P.M.  
COMMISSION CHAMBERS AT CITY HALL  
SHAWNEE, OKLAHOMA

CALL TO ORDER

DECLARATION OF A QUORUM

INVOCATION

REV. LARRY SPARKS  
BLACKBURN BAPTIST CHURCH

FLAG SALUTE

1. Consider approval of Agenda:
2. Consider approval of Consent Agenda:
  - a. Minutes from the March 3, 2014 regular meeting.
  - b. Acknowledge the following minutes and reports:
    - Planning Commission minutes from the January 8, 2014 meeting
    - Shawnee Civic and Cultural Development Authority minutes from Regular meeting on January 16, 2014 and Special Called meeting on February 3, 2014.
    - License Payment Report for February 2014
    - Project Payment Report for February 2014
  - c. Authorize staff to advertise for bids on the Parking Lot and Drive improvements for the Municipal Swimming Pool Project.
  - d. Workers Comp Settlement – Darrell Freeman
  - e. Workers Comp Settlement – Loyd Davis
  - f. Approve Resolution of Appreciation to Rhonda Masquat for over 38 years of service to the City of Shawnee.
  - g. Mayor's Appointment  
Traffic Commission  
Paul Roberts 1st term Expires 1/01/2017  
*Replaces Deena Harris – termed out*
3. Commissioners Comments
4. Citizens Participation

(A three minute limit per person)  
(A twelve minute limit per topic)

5. Mayor's Presentation of Certificates of Appreciation for Tornado Response.
6. Presentation of Resolution of Appreciation to Rhonda Masquat for over 38 years of service to the City of Shawnee.
7. City Manager's presentation of Employee of the Month to Julie Daniels, Police Department Dispatch.
8. Discuss and consider refusal of Quit Claim Deeds on properties located at 1207 East 9th Street and 702 West Main Street deeded to the City of Shawnee by an individual.
9. Public hearing and consideration of an ordinance to rezone property located at 3720 N. Bryan from R-1; Single Family Residential to R-E; Residential Estates District. Case #P05-14 Applicant: Janice Percell
10. Public hearing and consideration of an ordinance to rezone property located at 8 and 12 East MacArthur from C-1; Neighborhood Commercial to C-3; Automotive, Commercial and Recreational District. Case #P03-14 Applicant: James T. Kerr
11. Public hearing and consideration of approval of a Conditional Use Permit in C-4 zoning located at 6 West Main. Case #P02-14 Applicant: Rob and Misty Hardison
12. Consideration of approval of a Final Plat for North Harrison Street Business Park located at Harrison and Wolverine Road. Case #S02-14 Applicant: Redbud Development, LLC
13. Public hearing and consideration of approval of a Planned Unit Development located at the SWQ of I-40 and Kickpoo Street in C-3 zoning for commercial use. Case #P04-14 Applicant: Cates-Clark & Associates, LLP
14. Consideration of a Preliminary Plat for Shawnee Marketplace Planned Unit Development at the SWQ of I-40 and Kickapoo Street. Case #S01-14 Applicant: Cates-Clark & Associates, LLP
15. Discussion, consideration and possible action on an ordinance repealing and amending portions of Chapter 8 of the Shawnee Municipal Code, dealing with Businesses, Permits and Licenses.
16. Discussion, consideration and possible action to instruct staff to make changes in Chapter 2 of the Shawnee Municipal Code.
17. Acknowledge Sales Tax Report received March 2014.
18. City Manager's Report
19. Consider Bids:
  - a. Police Range Tower Project (Award)
20. New Business

(Any matter not known about or which could not have been reasonably foreseen prior to the posting of the agenda)

21. Administrative Reports, including but not limited to:
  - Main Street Streetscape Project
  - Kickapoo Paving Project from Kickapoo Spur to Farrall Street
  - Update on the Convention and Visitors Bureau
  
22. Adjournment

Respectfully submitted

Phyllis Loftis, CMC, City Clerk

The City of Shawnee encourages participation from its citizens in public meetings. If participation is not possible due to a disability, notify the City Clerk, in writing, at least forty-eight hours prior to the scheduled meeting and necessary accommodations will be made. (ADA 28 CFR/36)

**Regular Board of Commissioners**

**2. a.**

**Meeting Date:** 03/17/2014

Minutes

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Minutes from the March 3, 2014 regular meeting.

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Attachments

Minutes

**BOARD OF CITY COMMISSIONERS PROCEEDINGS**  
**MARCH 3, 2014 AT 6:30 P.M.**

The Board of City Commissioners of the City of Shawnee, County of Pottawatomie, State of Oklahoma, met in Regular Session in the Commission Chambers at City Hall, 9th and Broadway, Shawnee, Oklahoma, Monday, March 3, 2014 at 6:30 p.m., pursuant to notice duly posted as prescribed by law. Mayor Mainord presided and called the meeting to order. Upon roll call, the following members were in attendance.

Wes Mainord  
Mayor

Pam Stephens  
Commissioner Ward 1

Linda Agee  
Commissioner Ward 2

James Harrod  
Commissioner Ward 3-Vice Mayor

Keith Hall  
Commissioner Ward 4

John Winterringer  
Commissioner Ward 5

Steve Smith  
Commissioner Ward 6

ABSENT: None

INVOCATION

Rev. Amy Busse  
United Presbyterian

FLAG SALUTE

AGENDA ITEM NO. 1:

Consider approval of Agenda.

A motion was made by Vice Mayor Harrod, seconded by Commissioner Hall, to approve the Agenda. Motion carried 7-0.

AYE: Harrod, Hall, Winterringer, Smith, Stephens, Agee, Mainord

NAY: None

AGENDA ITEM NO. 2:

Consider an Executive session for discussion of matters relating to sales tax

enforcement action, including discussion of retention of outside counsel. The City Attorney recommends an executive session as authorized by 25 O.S. §307(B)(4).

A motion was made by Vice Mayor Harrod, seconded by Commissioner Smith, to enter into Executive Session to discuss, matters relating to sales tax enforcement action, including discussion of retention of outside counsel. The City Attorney recommends an executive session as authorized by 25 O.S. §307(B)(4). Motion carried 7-0.

AYE: Harrod, Smith, Stephens, Agee, Mainord, Hall, Winterringer  
NAY: None

COMMISSION ENTERED INTO EXECUTIVE SESSION AT 7:05 P.M. WITH ALL MEMBERS PRESENT.

RECESS CITY COMMISSION MEETING BY THE POWER OF THE CHAIR TO CONVENE SHAWNEE AIRPORT AUTHORITY AND SHAWNEE MUNICIPAL AUTHORITY (6:35 P.M.)

RECONVENE CITY COMMISSION MEETING BY THE POWER OF THE CHAIR

COMMISSION RECONVENED FROM EXECUTIVE SESSION AT 8:45 P.M. WITH ALL MEMBERS PRESENT

AGENDA ITEM NO. 3: Consider matters discussed in Executive Session regarding of matters relating to sales tax enforcement action, including discussion of retention of outside counsel. The City Attorney recommends an executive session as authorized by 25 O.S. §307(B)(4).

A motion was made by Commissioner Hall, seconded by Vice Mayor Harrod, to engage the services of Modrall Sterling in connection with reaching an agreement for collection of sales tax. Motion carried 5-2.

AYE: Hall, Harrod, Mainord, Winterringer, Smith  
NAY: Stephens, Agee

AGENDA ITEM NO. 4: Consider approval of Consent Agenda:

- a. Acknowledge staff will proceed in the instant meeting with the opening and consideration of bids as set forth in Agenda Item No. 18
- b. Minutes from the February 18, 2014 regular meeting.
- c. Budget Amendment General Fund 001  
*To add additional money to legal services in the city attorney's budget to accommodate for on-going legal services and add additional money to City Managers contractual services for Public Relations*
- d. Acknowledge waiving Sections 8-431 and 8-434 of the Code of the City of Shawnee involving garage sale licenses and fees for the days of April 25-27, 2014.
- e. Approve agreement with Shaughnessy Group, LLC to produce a cable TV video show highlighting various aspects of the City of Shawnee.
- f. Authorize staff to solicit bids for the remodeling and construction of the Shawnee Municipal Pool.

Commissioner Agee asked that Agenda Item Nos. 4(c) and 4(e) be pulled for separate consideration.

A motion was made by Vice Mayor Harrod, seconded by Commissioner Winterringer, to approve the Consent Agenda Item Nos. 4(a-f), less items (c) and (e). Motion carried 7-0.

AYE: Harrod, Winterringer, Smith, Stephens, Agee, Mainord, Hall  
NAY: None

Regarding Agenda Item No. 4(c), Commissioner Agee questioned whether this legal services transfer was for legal fees as approved in executive session action. City Attorney Mary Ann Karns advised the commissioner that this was for

ongoing legal matters and a portion of legal fees, if needed, from matters approved in action from executive session.

A motion was made by Commissioner Hall, seconded by Commissioner Winterringer, to approve Consent Agenda Item No. 4(c). Motion carried 5-2.

AYE: Hall, Winterringer, Smith, Harrod, Mainord

NAY: Stephens, Agee

Regarding Agenda Item No. 4(e), Commissioner Agee inquired about the beginning date of this agreement. It is from July 1, 2013 through June 30, 2014. She was advised the agreement is from July 1 and Shawnee TV had continued on as with the prior agreement, but it should have been approved in June 2013. There were some changes that were being considered and the renewal process was interrupted according to Stephen Nolen.

A motion was made by Commissioner Agee, seconded by Commissioner Winterringer, to approve Consent Agenda Item No. 4(e). Motion carried 7-0.

AYE: Agee, Winterringer, Smith, Stephens, Harrod, Mainord, Hall

NAY: None

AGENDA ITEM NO. 5: Commissioners Comments

Vice Mayor Harrod commented on the quick response and hard work of the Emergency Management and Street Department during bad weather.

Mayor Mainord, also, wanted to thank the water line maintenance crews for the things that they have to take care of in the extreme cold.

AGENDA ITEM NO. 6: Citizens Participation  
(A three minute limit per person)  
(A twelve minute limit per topic)

Mr. Kurt Beauford spoke regarding the recycling program. He is not in favor of this program and doesn't think citizens should have to sort and clean their garbage before it can be picked up.



AGENDA ITEM NO. 7:

City Manager's presentation of Employee of the Month to Julie Daniels, Police Department Dispatch.

Deferred to a later date.

AGENDA ITEM NO. 8:

Presentation of Audited Financial Statements for the City of Shawnee and Related Authorities for the Fiscal Year 2012-2013.

Ann Cole of Arledge & Associates, P.C. presented the audit to the Commissioners and was available for questions. She stated we had a clean opinion audit with only one finding in financials.

AGENDA ITEM NO. 9:

Discuss, consider and possible action of acceptance of roadway dedications by the Oklahoma Commissioners of the Land Office along North Kickapoo

Justin Erickson, Community Development Director, spoke on the acceptance of the roadway dedications. These were constructed to City of Shawnee requirements. This acceptance is necessary to continue with the Hunt Group development plan to the west of North Kickapoo.

A motion was made by Commissioner Winterringer, seconded by Commissioner Stephens, to accept roadway dedications by the Oklahoma Commissioners of the Land Office along North Kickapoo. Motion carried 7-0.

AYE: Winterringer, Stephens, Agee, Harrod, Mainord, Hall, Smith

NAY: None

AGENDA ITEM NO. 10:

Discuss, consider and possible action on an ordinance repealing Section 3-216 (non-accessory signs) of the Shawnee Municipal Code.

Justin Erickson, Community Development Director, advised the Commission had asked for a recommendation on non-accessory signs and they were presented two options. One was to eliminate non-accessory signs or the second option was to establish a moratorium on the signs and have further study.

A motion was made by Vice Mayor Harrod, seconded by Commissioner Agee, to approve an ordinance repealing Section 3-216 (non-accessory signs) of the Shawnee Municipal Code.

Ordinance No. 2531 NS was introduced.

AN ORDINANCE RELATING TO NON-ACCESSORY SIGNS, ELIMINATING SECTION 3-216 OF THE SHAWNEE MUNICIPAL CODE, REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT THEREWITH, PROVIDING FOR SEVERABILITY AND DECLARING AN EMERGENCY.

Motion carried 6-0-1.

AYE: Harrod, Agee, Mainord, Hall, Winterringer, Stephens

NAY: None

ABSTAIN: Smith

Ordinance No. 2531 NS was adopted by the City Commission.

A motion was made by Vice Mayor Harrod, seconded by Commissioner Agee, to approve emergency clause relating to Ordinance No. 2531 NS. Motion carried 5-1-1.

AYE: Harrod, Agee, Mainord, Hall, Winterringer

NAY: Stephens

ABSTAIN: Smith

AGENDA ITEM NO. 11:

Discuss, consider and possible action on establishing a moratorium on non-accessory sign regulations. (Not needed if Section 3-216 of the municipal code is repealed)

No action was necessary due to Agenda Item No. 10, passed and approved Ordinance No. 2531NS.

AGENDA ITEM NO. 12:

Discuss, consider and possible action on an ordinance repealing and amending portions of Chapter 1, General Provisions of the Shawnee Municipal Code.

This Ordinance will add some new definitions, allowing for the use of schedules for bonds, fees, fines and insurance, adjusting for new numbers to the code and forbidding tampering with the code.

A motion was made by Commissioner Smith, seconded by Commissioner Winterringer, to approve an ordinance repealing and amending portions of Chapter 1, General Provisions of the Shawnee Municipal Code

Ordinance No. 2532 NS was introduced.

AN ORDINANCE REPEALING AND AMENDING PORTIONS OF CHAPTER 1, "GENERAL PROVISIONS," OF THE SHAWNEE MUNICIPAL CODE, ADDING DEFINITIONS, SETTING PENALTIES, PROVIDING FOR SCHEDULES, PROHIBITING ALTERATION OF THE CODE, PROVIDING FOR REPEALER, PROVIDING FOR SEVERABILITY, PROVIDING FOR CODIFICATION, AND DECLARING AN EMERGENCY.

Motion carried 7-0.

AYE: Smith, Winterringer, Stephens, Agee, Harrod, Mainord, Hall

NAY: None

Ordinance No. 2532 NS was adopted by the City Commission.

A motion was made by Commissioner Smith, seconded by Commissioner Winterringer, to approve emergency clause relating to Ordinance No. 2532 NS. Motion carried 7-0.

AYE: Smith, Winterringer, Stephens, Agee, Harrod, Mainord, Hall

NAY: None

AGENDA ITEM NO. 13: Discuss, consider and possible action on an ordinance repealing and amending portions of Chapter 7, Buildings and Building Regulations, of the Shawnee Municipal Code.

This Ordinance will provide a new section concerning conflict in international code; setting regulations as a licensure, payment of fees, permitting and certificates of registration for contractors; provide for the amounts of fees, fines, bonds and insurance to be set by resolution.

A motion was made by Commissioner Smith, seconded by Commissioner Hall, to approve an ordinance repealing and amending portions of Chapter 7, Buildings and Building Regulations, of the Shawnee Municipal Code.

Ordinance No. 2533 NS was introduced.

AN ORDINANCE REPEALING AND AMENDING PORTIONS OF CHAPTER 7 OF THE SHAWNEE MUNICIPAL CODE, "BUILDINGS AND BUILDING REGULATIONS," ADJUSTING FINES, BONDS, INSURANCE AND PENALTIES, PROVIDING FOR SEVERABILITY, PROVIDING FOR CODIFICATION, PROVIDING FOR REPEAL, AND DECLARING AN EMERGENCY.

Motion carried 7-0.

AYE: Smith, Hall, Stephens, Agee, Harrod, Mainord, Winterringer

NAY: None

Ordinance No. 2533 NS was adopted by the City Commission.

A motion was made by Commissioner Smith, seconded by Commissioner Winterringer, to approve emergency clause relating to Ordinance No. 2533 NS. Motion carried 7-0.

AYE: Smith, Winterringer, Stephens, Agee, Harrod, Mainord, Hall

NAY: None

AGENDA ITEM NO. 14: Discuss, consider and possible action on an ordinance repealing and amending Chapter 13, Fire Prevention and Protection, of the Shawnee Municipal Code.

This Ordinance provides that fees, bonds and insurance will be set by Resolution of the Commission; transfer control of the hydrants to the Utility Department; and update the procedures for selection of personnel.

A motion was made by Commissioner Smith, seconded by Commissioner Winterringer, to approve an ordinance repealing and amending Chapter 13, Fire Prevention and Protection, of the Shawnee Municipal Code.

Ordinance No. 2534 NS was introduced.

AN ORDINANCE REPEALING AND AMENDING CHAPTER 13 OF THE SHAWNEE MUNICIPAL CODE, ENTITLED "FIRE PREVENTION AND PROTECTION," PROVIDING THAT FEES, BONDS AND INSURANCE SHALL BE SET BY RESOLUTION OF THE COMMISSION; PROVIDING THAT CONTROL OF HYDRANTS SHALL BE TRANSFERRED TO THE UTILITY DEPARTMENT; PROVIDING THAT PROCEDURAL PROCESSES FOR SELECTION OF PERSONNEL BE UPDATED, PROVIDING FOR SEVERABILITY, PROVIDING FOR REPEALER, PROVIDING FOR CODIFICATION AND DECLARING AN EMERGENCY.

Motion carried 7-0.

AYE: Smith, Winterringer, Stephens, Agee, Harrod, Mainord, Hall

NAY: None

Ordinance No. 2534 NS was adopted by the City Commission.

A motion was made by Commissioner Smith, seconded by Commissioner Hall, to approve emergency clause relating to Ordinance No. 2534 NS. Motion carried 7-0.

AYE: Smith, Hall, Stephens, Agee, Harrod, Mainord, Winterringer

NAY: None

AGENDA ITEM NO. 15: Discuss, consider and possible action on an ordinance amending Shawnee Municipal Code, Chapter 17, Law Enforcement.

This Ordinance will update the Law Enforcement Chapter of the Code. Offenses involving impersonating an officer are being moved to the offenses section of the code; and disposal of unclaimed personal property is being updated to comply with state law.

A motion was made by Commissioner Smith, seconded by Commissioner Winterringer, to approve an ordinance amending Shawnee Municipal Code, Chapter 17, Law Enforcement.

Ordinance No. 2535 NS was introduced.

AN ORDINANCE AMENDING SHAWNEE MUNICIPAL CODE, CHAPTER 17, "LAW ENFORCEMENT," DEALING WITH DISPOSAL OF PROPERTY, MOVING A PROVISION TO "OFFENSES," PROVIDING FOR REPEAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION AND DECLARING AN EMERGENCY.

Motion carried 7-0.

AYE: Smith, Winterringer, Stephens, Agee, Harrod, Mainord, Hall  
NAY: None

Ordinance No. 2535 NS was adopted by the City Commission.

A motion was made by Commissioner Smith, seconded by Commissioner Hall, to approve emergency clause relating to Ordinance No. 2535 NS. Motion carried 7-0.

AYE: Smith, Hall, Stephens, Agee, Harrod, Mainord, Winterringer  
NAY: None

AGENDA ITEM NO. 16: Consider an ordinance calling for a general and runoff election for Ward 1, Ward 5 and Ward 6.

A motion was made by Vice Mayor Harrod, seconded by Commissioner Stephens, to approve an ordinance calling for a general and runoff election for Ward 1, Ward 5 and Ward 6.

Ordinance No. 2536 NS was introduced.

AN ORDINANCE CALLING AND PROVIDING FOR THE HOLDING OF NONPARTISAN GENERAL AND GENERAL RUNOFF ELECTIONS IN THE CITY OF SHAWNEE, OKLAHOMA, FOR THE PURPOSE OF NOMINATING AND ELECTING CANDIDATES FOR THE OFFICES OF CITY COMMISSIONER OF THE FIRST WARD, CITY COMMISSIONER OF THE FIFTH WARD AND CITY COMMISSIONER OF THE SIXTH WARD; ESTABLISHING A FILING PERIOD AND QUALIFICATIONS FOR SUCH OFFICES; DESIGNATING THE MANNER OF ELECTING THE VARIOUS CITY OFFICES NAMED HEREIN; PROVIDING FOR SAID ELECTIONS TO BE CONDUCTED BY THE POTTAWATOMIE COUNTY ELECTION BOARD; PROVIDING FOR VOTING BY ABSENTEE BALLOT; AND DECLARING AN EMERGENCY.

Motion carried 6-0-1.

AYE: Harrod, Stephens, Agee, Mainord, Hall, Winterringer  
NAY: None  
ABSTAIN: Smith

Ordinance No. 2536 NS was adopted by the City Commission.

A motion was made by Vice Mayor Harrod, seconded by Commissioner Agee, to approve emergency clause relating to Ordinance No. 2536 NS. Motion carried 5-0-2.

AYE: Harrod, Agee, Mainord, Hall, Stephens

NAY: None

ABSTAIN: Winterringer, Smith

AGENDA ITEM NO. 17:

Discussion, consideration and possible action on a contract with Anglin PR to kick off a public education campaign that educates our citizens how sales tax is used to provide necessary city services.

City Manager Brian McDougal explained he would like to educate the citizens regarding sales tax and how important it is to the continued viability for providing the services our citizens expect. He would like for the citizens and the retailers to understand the critical need of the sales tax and how much local government depends on this collection.

Commissioner Agee questioned the need for a public relations firm when we have Facebook, our web site, local cable and other ways to get the message to the people.

Debbie Anglin of Anglin PR was here to explain the program of education they have in mind.

A motion was made by Commissioner Hall, seconded by Commissioner Smith, to approve a contract with Anglin PR to kick off a public education campaign that educates our citizens how sales tax is used to provide necessary city services. Motion carried 5-2.

AYE: Hall, Smith, Harrod, Mainord, Winterringer

NAY: Stephens, Agee

AGENDA ITEM NO. 18:

Consider Bids:

- a. New Shawnee Police Range Tower Project (Open)

**BIDDER**

**AMOUNT**

W.L. MCNATT & COMPANY  
Oklahoma City, OK

\$249,000.00  
Alternate: \$8,000.00

DIVERSIFIED CONSTRUCTION  
Edmond, OK

\$266,000.00  
Alternate: \$5,000.00

OKLAHOMA CONSTRUCTION &  
REMODELING, LLC  
Shawnee, OK

\$181,600.00

Police Chief Russell Frantz read the bids into the record and requested that the bid award be deferred to the next meeting to allow staff to review and check references.

A motion was made by Vice Mayor Harrod, seconded by Commissioner Winterringer, to defer the bid award to the March 17, 2013 City Commission meeting. Motion carried 7-0.

AYE: Harrod, Winterringer, Smith, Stephens, Agee, Mainord, Hall  
NAY: None

**AGENDA ITEM NO. 19:**

New Business (Any matter not known about or which could not have been reasonably foreseen prior to the posting of the agenda)

There was no New Business.

**AGENDA ITEM NO. 20:**

Administrative Reports

There was no Administrative Reports.

**AGENDA ITEM NO. 21:**

Adjournment

There being no further business to be considered, the meeting was adjourned by power of the Chair. (9:45 p.m.)



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WES MAINORD, MAYOR

ATTEST:

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DONNA MAYOR, DEPUTY CITY CLERK

**Regular Board of Commissioners**

**2. b.**

**Meeting Date:** 03/17/2014

Reports and Minutes

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Acknowledge the following minutes and reports:

- Planning Commission minutes from the January 8, 2014 meeting
  - Shawnee Civic and Cultural Development Authority minutes from Regular meeting on January 16, 2014 and Special Called meeting on February 3, 2014.
  - License Payment Report for February 2014
  - Project Payment Report for February 2014
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Attachments

Planning Commission Minutes

License Payment Report

Project Payment Report

SCCDA Minutes 1-16-14

SCCDA Minutes 2-3-14 Special Called

## PLANNING COMMISSION MINUTES

**DATE: JANUARY 8<sup>TH</sup>, 2014**

The Planning Commission of the City of Shawnee, County of Pottawatomie, State of Oklahoma, met in the Commission Chambers, at City Hall, 9<sup>th</sup> and Broadway, on Wednesday, January 8<sup>th</sup>, 2014 at 1:30 p.m., pursuant to notice duly posted as prescribed by law. Justin Erickson, Planning Director for the City of Shawnee, presented the staff reports. Staff reports are available upon request.

**AGENDA ITEM NO.1:**                      **Roll Call**

Upon roll call the following members were present:

**Present:** Bergsten, Carter, Hoster, Turner, Silvia, Salter

**Absent:** Cowen

The meeting was called to order.

**AGENDA ITEM NO. 2:**                      **Approval of the minutes from the December 4, 2013  
Planning Commission Meeting**

Chairman Turner asked for a motion. Commissioner Hoster made the motion seconded by Commissioner Bergsten to approve the December 4, 2013 minutes.

Motion passed:

**AYE:** Bergsten, Carter, Hoster, Turner, Silvia, Salter

**NAY:**

**ABSTAIN:**

**AGENDA ITEM NO. 3:**                      **Citizens Participation**

Chairman Turner opened the Citizens' Participation and asked if anyone would like to speak. No one came forward.

**AGENDA ITEM NO. 4:**                      **Case #P01-14 – A public hearing for consideration of approval to rezone property located at 3720 N. Bryan from A-1; Agricultural to R-1; Residential Single Family**

**Applicant: Janice Percell**

Commissioner Cowen arrived at 1:35 pm.

Chairman Turner asked for the staff report. Justin Erickson presented the staff report.

Staff recommended approval to rezone from A-1 to R-1.

Chairman Turner opened the public hearing asking if anyone wanted to speak for the proposal. Janice Percell spoke for the request. No one spoke against the proposal.

Chairman Turner asked for a motion. Commissioner Carter made a motion, seconded by Silvia to approve the rezoning from A-1 to R-1.

Motion passed:

**AYE:** Bergsten, Carter, Hoster, Turner, Silvia, Cowen, Salter

**NAY:**

**ABSTAIN:**

**AGENDA ITEM NO. 5:**                      **Workshop: Zoning Code Revision**

Justin Erickson and Justin Debruin discussed modifications pertaining to the previous workshop held last month on December 19<sup>th</sup>, 2013. These modifications included the possibility of fewer restrictions on downtown building standards as well as adding more parking restrictions for restaurants and multi-use facilities. Staff also proposed discussing issues in regards to the standards for commercial parking including the number of spots and size. Outdoor storage for businesses was also discussed in regards to the type of regulations for the existing businesses and also for any future businesses.

**AGENDA ITEM NO. 6:**                      **Planning Director's Report**

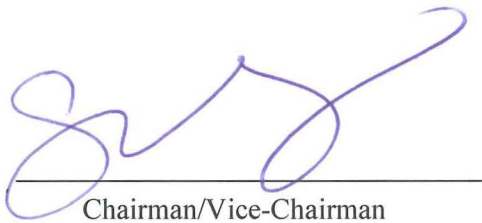
There was no report.

**AGENDA ITEM NO. 7: Commissioners Comments and/or New Business**

Chairman Silvia inquired about the progress with dilapidated buildings and Commissioner Hoster commended the department on the work. No new floodplain plans were available. Discussion was held on the new Communication Federal Credit Union on Kickapoo and 45<sup>th</sup> Street.

**AGENDA ITEM NO. 8: Adjournment**

Meeting was adjourned.



Chairman/Vice-Chairman

*Cheyenne Lincoln*  
Planning Commission Secretary

\*\* FEE CODE TOTALS \*\*

FEE CODE	DESCRIPTION	FEE	PAYMENT DISTRIBUTION			TOTAL PAI
			PENALTY	TAX	INTEREST	
ALARMRENEW	BURGLAR/FIRE ALARM RENEW	10	150.00CR			150.00
BOATREG	BOAT REGULAR PERMIT	11	286.00CR			286.00
ELEC1	ELECTRICAL CONTRACTOR INITIAL	3	300.00CR			300.00
ELEC2	ELECTRICAL CONTRACTOR RENEW	7	525.00CR			525.00
EXT	EXTERMINATOR LICENSE FEE	2	50.00CR			50.00
FISHANNUAL	FISHING ANNUAL FEE	6	90.00CR			90.00
LAKEINSP	LAKE LEASE INSPECTION	1	75.00CR			75.00
LAKELEASE	LAKE LEASE	8	5,168.00CR			5,168.00
LAKEXFER	LAKE LEASE TRANSFER FEE	2	2,000.00CR			2,000.00
LIQR	RETAIL LIQUOR OCCUPATIONAL TAX	1	600.00CR			600.00
MECH1	MECHANICAL CONTRACTOR INTIAL	2	200.00CR			200.00
MECH2	MECHANICAL CONTRACTOR RENEW	1	75.00CR			75.00
PLUM2	PLUMBING CONTRACTOR RENEW	7	525.00CR			525.00
RESAL	RESIDENTIAL SALE	6	60.00CR			60.00
SIGN	SIGN HANGERS LICENSE FEE	2	150.00CR			150.00
STORM	STORM CELLAR LICENSE FEE	2	150.00CR			150.00
TAXIBR	VEHICLE FOR HIRE RENEWAL	1	50.00CR			50.00
TAXIDR	TAXI DRIVER RENEAL FEE	1	25.00CR			25.00
TREE	TREE TRIMMING LICENSE FEE	3	75.00CR			75.00
TOTAL			10,554.00CR			10,554.00

\*\* SEGMENT CODE TOTALS \*\*

SEGMENT CODE	DESCRIPTION	TOTAL PAID
B1-NEW	BUILDING CONSTRUCTION NEW	2,205.51CR
B2-ADD	BUILDING CONSTRUCTION ADD	1,408.88CR
B3-REMODEL	BUILDING CONSTRUCTION REM	3,583.38CR
B4-OTHER	BUILDING CAPORT/SHELTER	714.50CR
E3-REMODEL	ELECTRICAL REMODEL/REPAIR	147.00CR
M2-ADD	MECHANICAL ADDITION	304.50CR
M3-REMODEL	MECHANICAL REMODEL/REPAIR	675.00CR
P3-REMODEL	PLUMBING REMODEL	726.00CR
P5-SEPTIC	SEPTIC PERMIT	20.00CR
X-DEMO	DEMOLITION PERMIT	50.00CR
X-MOVING	MOVING PERMIT	50.00CR
X-PLATFIN	PLAT REVIEW FINAL	340.00CR
X-SIGN	SIGN PERMIT	100.00CR
X-SWIMPOOL	SWIMMING POOL PERMIT	34.50CR
Z-OCCUP	OCCUPANCY PERMIT	200.00CR
Z-REZONING	REZONING REQUEST	880.00CR
TOTAL		11,439.27CR

03/04/2014 4:43 PM  
STATUS: ALL  
SEGMENT CODES: All  
FEE CODES: All

P R O J E C T P A Y M E N T R E P O R T

PAGE: 5  
PROJECTS: THRU ZZZZZZZZZZ  
PAYMENT DATES: 2/01/2014 TO 2/28/2014  
SORTED BY: PROJECT

\*\* GENERAL LEDGER DISTRIBUTION \*\*

FUND G/L ACCOUNT	ACCOUNT NAME	AMOUNT
001-2133	UBCC FEE PAYABLE	276.00CR
001-4202	BUILDING PERMITS	7,258.77CR
001-4203	PLUMBING PERMITS	720.00CR
001-4204	ELECTRICAL PERMITS	120.00CR
001-4205	ZONING PERMITS & APPLICATIONS	1,220.00CR
001-4206	HEATING & A/C PERMITS	930.00CR
001-4249	OTHER PERMITS	430.00CR
001-4822	OTHER MISC. REVENUE	34.50CR
501-4510	WATER TAPS	450.00CR
799-1023	BANCFIRST GENERAL	11,439.27



A MEETING OF THE SHAWNEE  
CIVIC AND CULTURAL DEVELOPMENT AUTHORITY  
JANUARY 16, 2014  
12:30 P.M.  
HEART OF OKLAHOMA EXPOSITION CENTER

THE TRUSTEES OF THE SHAWNEE CIVIC AND CULTURAL DEVELOPMENT AUTHORITY MET FOR THEIR REGULAR SCHEDULED MEETING THURSDAY, JANUARY 16, 2014 AT 12:30 PM AT HEART OF OKLAHOMA EXPOSITION CENTER, PURSUANT TO NOTICE DULY POSTED AS PRESCRIBED BY LAW. NOTICE WAS FILED AT CITY HALL ON 1/13/2014 AT 3:20PM.

AGENDA ITEM NO.1

CALL TO ORDER.

THE MEETING WAS CALLED TO ORDER AT 12:40 PM BY MR. KARL KOZEL, CHAIRMAN.

AGENDA ITEM NO.2

ROLL CALL

TRUSTEES PRESENT: MR. KARL KOZEL  
MR. RANDY GILBERT (LATE ARRIVAL)  
MR. CARL PACKWOOD  
MRS. SUSAN HAVENS  
MR. CASEY BELL

TRUSTEES ABSENT: MR. DAVID HARMON  
MR. BRIAN MCDUGAL

ALSO IN ATTENDANCE: MICHAEL JACKSON, OPERATIONS MANAGER; MIKE CLOVER, STUART & CLOVER, MICHAEL MCCORMICK OF THE SHAWNEE NEWS STAR, KINLEE FARRIS OF THE CVB, KELLY CHANDRA, NEIL LINDENBAUM, SHANELY YATES, LINDA AGEE AND SHELLY WELCH OF FINLEY & COOK.

AGENDA ITEM NO.3

DECLARATION OF A QUORUM

CHAIRMAN MR. KARL KOZEL, DECLARED A QUORUM.

AGENDA ITEM NO.4

2014 ELECTION OF CHAIRMAN FOR SC&CDA BOARD

THE MOTION MADE BY TRUSTEE PACKWOOD, SECONDED BY TRUSTEE HAVENS TO ELECT RANDY GILBERT AS CHAIRMAN FOR THE SC&CDA BOARD FOR 2014. MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD. HAVENS, KOZEL  
NAY: NONE  
ABSTAIN:

AGENDA ITEM NO.5

2014 ELECTION OF VICE CHAIRMAN FOR SC&CDA BOARD

THE MOTION MADE BY TRUSTEE PACKWOOD, SECONDED BY TRUSTEE BELL TO ELECT KARL KOZEL AS VICE CHAIRMAN OF THE SC&CDA BOARD FOR 2014. MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD. HAVENS  
NAY: NONE  
ABSTAIN: KOZEL

AGENDA ITEM NO.6

APPROVAL OF MINUTES OF DECEMBER 2013 MEETING

THE MOTION MADE BY TRUSTEE BELL, SECONDED BY TRUSTEE PACKWOOD TO APPROVE THE MINUTES OF THE DECEMBER 2013 MEETING. MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL  
NAY: NONE  
ABSTAIN:

AGENDA ITEM NO.8

APPROVAL OF MONTHLY FINANCIAL REPORT DECEMBER

THE MOTION MADE BY TRUSTEE BELL, SECONDED BY TRUSTEE PACKWOOD TO APPROVE THE MONTHLY FINANCIAL REPORT WITH THE NOTE THAT THE YEAR END FINANCIAL REPORT IS READY FOR AUDIT . MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL  
NAY: NONE  
ABSTAIN:

AGENDA ITEM NO.9

APPROVAL OF GENERAL CLAIMS.

THE MOTION MADE BY TRUSTEE PACKWOOD, SECONDED BY TRUSTEE BELL TO APPROVE THE GENERAL CLAIMS. MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL  
NAY: NONE  
ABSTAIN:

General Claims

A.	Oklahoma Gas & Electric	\$16,322.43
B.	Shawnee Feed Center	\$20.25
C.	Sparks Heat & Air	\$2,301.00
D.	Whites Ace Bldg	\$197.83
E.	Winkler Door Co.	\$114.00
F.	Cintas	\$186.84
G.	Pitney Bowes- Lease	\$153.00
H.	Fastenal	\$90.46
I.	Demco	\$25.00
J.	Locke Supply	\$411.74
K.	Constellation Energy	\$3,102.48
L.	INS	\$665.00
M.	Oklahoma Natural Gas	\$720.01
N.	Arvest	\$502.69

O.	Armstrong Pest Control	\$125.00
P.	Frontier Country Marketing	\$315.00
Q.	NAPA	\$98.75
R.	Express Services	\$374.40
S.	Locke Supply	\$106.74
T.	Bankers Credit Card Services	\$408.67
U.	Grimsley's	\$44.20
V.	Hunzicker Brothers	\$95.49
W.	Oklahoma Natural Gas	\$1,565.23
X.	Shawnee Office Systems	\$68.13
Y.	Sparks Heat & Air	\$100.50
Z.	Staples	\$72.97
AA.	Vision Bank	\$1,031.02
BB.	David Zuvietta	\$375.00

Add On's

General Claims:

A.	Fuelman	\$527.55
B.	Finley & Cook	\$290.50
C.	Armstrong Pest Control	\$125.00
D.	Express Services	\$276.48
E.	Locke Supply	\$136.87
F.	Cintas	\$65.30
G.	John Deere Financial	\$76.26
H.	NAPA	\$46.19
I.	Fastenal	\$413.10
J.	City of Shawnee — Surcharge	\$1,073.00
K.	Stuart & Clover	\$312.50
L.	Sparks Heat & Air	\$620.76
M.	Brooks Industries	\$345.69
N.	Back 40 Designs	\$50.00

O.	Metropolitan Telecommunications	\$1,313.12
P.	KIRC / 105.9	\$100.00
Q.	City of Shawnee — water	\$2,713.20
R.	Cox Systems	\$270.00
S.	AT&T Mobility	\$46.22
T.	Fresh Filtered Air	\$650.00
U.	Allegiance Communications	\$199.95

AGENDA ITEM NO. 10

APPROVAL OF SPECIAL EVENT CLAIMS

THE MOTION MADE BY TRUSTEE PACKWOOD, SECONDED BY TRUSTEE BELL THAT THE SPECIAL EVENT CLAIMS BE APPROVED. MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL

NAY: NONE

ABSTAIN:

Special Events

A.	Mike McCormick	\$300.00
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AGENDA ITEM NO.11

APPROVAL OF SHAVINGS CLAIMS

NONE

AGENDA ITEM NO.12

DISCUSSION CONCERNING THE 5% HOTEL MOTEL OCCUPANCY SURCHARGE NOW IN PLACE.

AS DECIDED IN THE DECEMBER MEETING WE RE-VISITED THIS TOPIC IN DISCUSSION FORM ONLY TO GET MORE OF A FEEL FOR WHAT WE WERE LOOKING AT IF THIS INCREASE HAPPENED - LONG TERM & SHORT TERM EFFECTS & GOALS. TRUSTEE BELL SPOKE ABOUT WHY HE BROUGHT THIS PARTICULAR IDEA TO THE TABLE, KELLY CHANDRA WAS HERE REPRESENTING HOTELS IN TOWN AND ADDED THEIR CONCERNS WITH A INCREASE IN THE TAX RATE REGARDING THEM BEING ABLE TO KEEP ROOMS FILLED, NEIL LINDENBAUM WAS HERE AND DISCUSSED THE LOCAL RESTURANTS AND THE COMMUNITY OF SHAWNEE AS A WHOLE AND HOW HE FELT THE INCREASE WOULD AFFECT US ALL. KINLEE FARRIS SPOKE ON BEHALF OF THE CVB ABOUT BOOKING LARGE EVENTS IN WHEN THE RATE IS TOO HIGH THEY TEND TO LOOK ELSE WHERE TO SAVE THAT EXTRA MONEY. SHAWNEE CITY COMMISIONER LINDA AGEE WAS HERE TO LISTEN TO THE DISCUSSION ANDASK QUESTIONS WHERE THE CITY COMMISSION WOULD BE CONCERNED.

AGENDA ITEM NO. 13

DISCUSSION CONSIDERATION AND POSSIBLE ACTIONTO ACCEPT BIDS ON COMFORT STATION REMODEL

THE MOTION MADE BY TRUSTEE BELL, SECONDED BY TRUSTEE HAVENS FOR THE BID BY PATTERSON & ASSOCIATES #61,267.86 TO BE ACCEPTED FOR THE COMFORT STATION REMODEL . MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL

NAY: NONE

ABSTAIN:

AGENDA ITEM NO. 14

DISCUSSION CONSIDERATION AND POSSIBLE ACTION TO ACCEPT BIDS ON STAINLESS STEEL VANITY COUNTER TOPS IN 3 COMFORT STATIONS.

THE MOTION MADE BY TRUSTEE BELL, SECONDED BY TRUSTEE PACKWOOD FOR THE BID BY QUALITY STAINLESS #12,215 TO BE ACCEPTED FOR THE COMFORT STATION REMODEL . MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL  
NAY: NONE  
ABSTAIN:

AGENDA ITEM NO. 15

DISCUSSION CONSIDERATION AND POSSIBLE ACTION TO ACCEPT BIDS ON LAVATORY'S, FAUCETS, SHOWER FAUCETS IN 4 COMFORT STATIONS.

THE MOTION MADE BY TRUSTEE BELL, SECONDED BY TRUSTEE PACKWOOD FOR THE BID BY PERSONAL PLUMBING #12,480 TO BE ACCEPTED FOR THE COMFORT STATION REMODEL . MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL  
NAY: NONE  
ABSTAIN:

AGENDA ITEM NO. 16

DISCUSSION CONSIDERATION AND POSSIBLE ACTION TO ACCEPT BIDS ON TOILET PARTITIONS IN 4 COMFORT STATIONS.

THE MOTION MADE BY TRUSTEE BELL, SECONDED BY TRUSTEE PACKWOOD FOR THE BID BY GRIMSLEYS INC #14,230.65 TO BE ACCEPTED FOR THE COMFORT STATION REMODEL . MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL  
NAY: NONE  
ABSTAIN:

AGENDA ITEM NO. 17

DISCUSSION CONSIDERATION AND POSSIBLE ACTION TO INCREASE FEES FOR IFYR ONLINE PROCESS AS PRESENTED BY SHANELY YATES.

THE MOTION MADE BY TRUSTEE BELL, SECONDED BY TRUSTEE PACKWOOD TO RE-DO THE SOFTWARE ONLINE PROCESS WITH A CAP OF #6,000 PD PUT BY THE IFYR (EXPO). MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL  
NAY: NONE  
ABSTAIN:

AGENDA ITEMS NO. #18, #19, #20, #21 #22

IFYR UPDATE - 0 COMMITTEE REPORTS - 0  
ADMIN REPORTS - 0 OLD BUSINESS - 0  
NEW BUSINESS - 0

AGENDA ITEM NO.23

PUBLIC & TRUSTEE COMMENTS

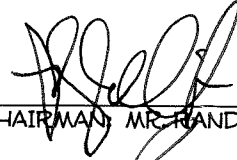
KARL KOZEL WAS THANKED BY CHAIRMAN GILBERT AND TRUSTEE BELL VERBALLY FOR HIS 20+ YEARS OF SERVICE TO THE SC&CDA BOARD. KOZEL HAS SERVED AS CHAIRMAN FOR MANY MANY YEARS AND TODAY HAS PASSED THE TORCH OFF TO TRUSTEE (NOW CHAIRMAN) GILBERT BUT WILL REMAIN HIS RIGHT HAND AS VICE CHAIRMAN OF THE SC&CDA BOARD. LINDA AGEE SPOKE ABOUT THE FACILITY AND HOW GREAT THINGS WENT AT A LIVESTOCK SHOW HER NEPHEW HAD ATTENDED, HOW SMOOTH THINGS RAN, HOW NICE THE IMPROVEMENTS LOOK AND HOW OUR EMPLOYEES WERE HELPFUL AND RIGHT ON WHERE THEY NEEDED TO BE WITH SET UPS ETC.

AGENDA ITEM NO.24

ADJOURNMENT

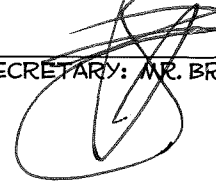
THE MOTION MADE BY TRUSTEE PACKWOOD, SECONDED BY TRUSTEE BELL TO ADJOURN MEETING,  
MOTION CARRIED.

AYE: GILBERT, BELL, PACKWOOD, HAVENS, KOZEL  
NAY: NONE  
ABSTAIN: NONE



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CHAIRMAN: MR. RANDY GILBERT



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SECRETARY: MR. BRIAN MCDUGAL

A EMERGENCY MEETING OF THE SHAWNEE  
CIVIC AND CULTURAL DEVELOPMENT AUTHORITY  
FEBRUARY 3, 2014  
12:00 P.M.  
HEART OF OKLAHOMA EXPOSITION CENTER

THE TRUSTEES OF THE SHAWNEE CIVIC AND CULTURAL DEVELOPMENT AUTHORITY MET FOR AN EMERGENCY MEETING MONDAY, FEBRUARY 3, 2014 AT 12:00 PM AT HEART OF OKLAHOMA EXPOSITION CENTER, PURSUANT TO NOTICE DULY POSTED AS PRESCRIBED BY LAW. NOTICE WAS FILED AT CITY HALL ON 1/31/2014 AT 10:32AM.

AGENDA ITEM NO.1

CALL TO ORDER.

THE MEETING WAS CALLED TO ORDER AT 12:00 PM BY MR. RANDY GILBERT, CHAIRMAN.

AGENDA ITEM NO.2

ROLL CALL

TRUSTEES PRESENT: MR. RANDY GILBERT  
MR. CARL PACKWOOD  
MRS. SUSAN HAVENS  
MR. BRIAN MCDUGAL  
MR. KARL KOZEL

TRUSTEES ABSENT: MR. DAVID HARMON  
MR. CASEY BELL

ALSO IN ATTENDANCE: MICHAEL JACKSON, OPERATIONS MANAGER.

AGENDA ITEM NO.4

DISCUSSION CONSIDERATION AND POSSIBLE ACTION ON REPAIRS TO SKID LOADER - EITHER NEW HEAD OR NEW MOTOR ARE THE ONLY OPTIONS AT THIS TIME.

THE MOTION MADE BY TRUSTEE KOZEL, SECONDED BY TRUSTEE PACKWOOD TO REPLACE THE ENGINE ON THE SKID LOADER. MOTION CARRIED.

AYE: GILBERT, PACKWOOD, HAVENS, MCDUGAL, KOZEL  
NAY: NONE  
ABSTAIN:

AGENDA ITEM NO.5

ADJOURNMENT

THE MOTION MADE BY TRUSTEE PACKWOOD, SECONDED BY TRUSTEE HAVENS TO ADJOURN MEETING. MOTION CARRIED.

AYE: GILBERT, PACKWOOD, HAVENS, MCDUGAL, KOZEL  
NAY: NONE  
ABSTAIN: NONE

  
\_\_\_\_\_  
CHAIRMAN: MR. RANDY GILBERT

  
\_\_\_\_\_  
SECRETARY: MR. BRIAN MCDUGAL

**Regular Board of Commissioners**

**2. c.**

**Meeting Date:** 03/17/2014

Request Bids Pool Parking Lot and Drive

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Authorize staff to advertise for bids on the Parking Lot and Drive improvements for the Municipal Swimming Pool Project.

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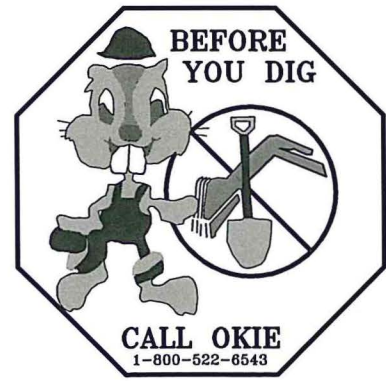
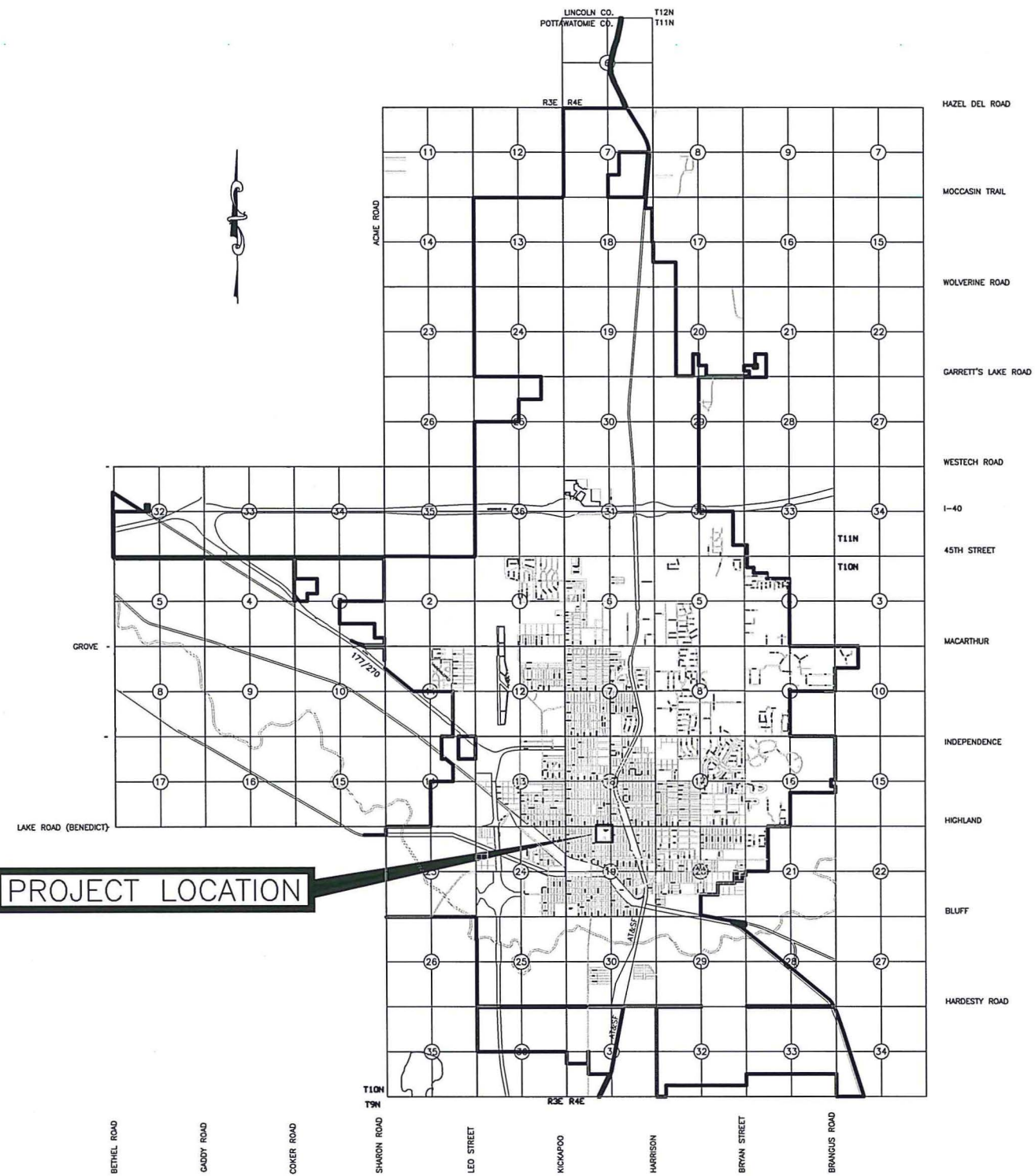
Attachments

Pool Parking and Drive



# WOODLAND PARK POOL PARKING PLANS

LOCATED IN THE NW QUARTER OF SECTION 19,  
TOWNSHIP 10 NORTH, RANGE 4 EAST, I.M.  
SHAWNEE, OKLAHOMA



COS-PW-XX-XX

# THE CITY OF SHAWNEE

**WES MAINORD**  
MAYOR

- |  |   |   |
|--|---|---|
| <b>KEITH HALL</b><br>COMMISSIONER        |  | <b>LINDA AGEE</b><br>COMMISSIONER           |
| <b>JOHN WINTERRINGER</b><br>COMMISSIONER |   | <b>PAM STEPHENS</b><br>COMMISSIONER         |
| <b>JAMES HARROD</b><br>COMMISSIONER      |   | <b>STEVE SMITH</b><br>COMMISSIONER          |
| <b>BRIAN McDOUGAL</b><br>CITY MANAGER    |   |   |
| <b>PHYLLIS LOFTIS</b><br>CITY CLERK      |   | <b>CYNTHIA SEMENTELLI</b><br>CITY TREASURER |

## SHEET INDEX

SHEET NO.	DESCRIPTION
C-1	TITLE SHEET
C-2	EXISTING SITE
C-3	DEMOLITION PLAN
C-3.1	DEMOLITION PLAN
C-4	PROPOSED SITE PLAN
C-4.1	SITE CONSTRUCTION DETAILS
C-5	DIMENSION PLAN
C-5.1	DIMENSION PLAN
C-6	GRADING PLAN
C-6.1	GRADING PLAN
C-7	UTILITY PLAN
C-7.1	UTILITY PLAN DETAILS
C-8	EROSION CONTROL PLAN
C-8.1	EROSION CONTROL DETAILS

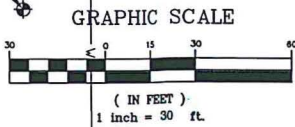
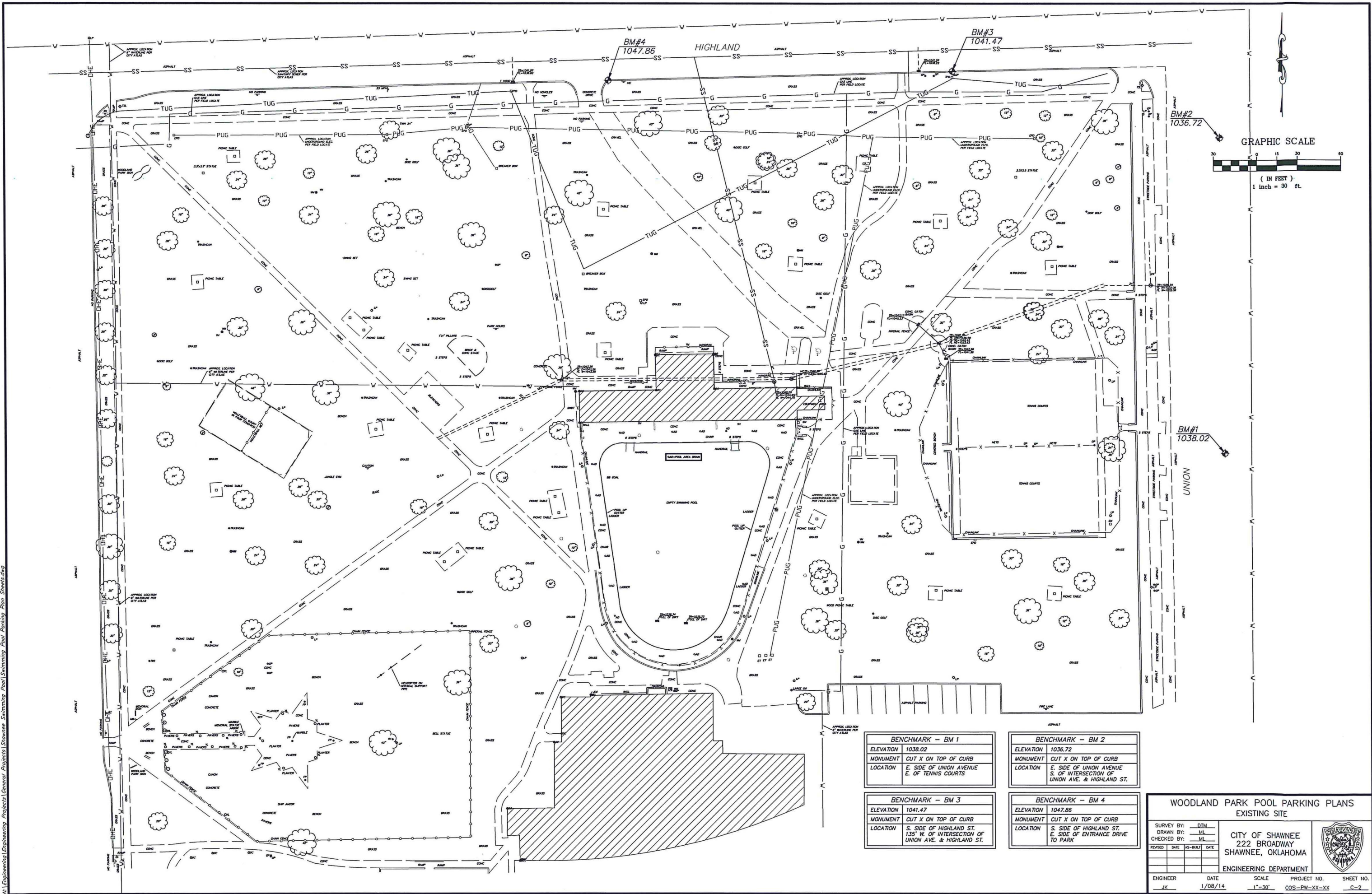
## UTILITY LOCATION NUMBERS

STATE WIDE	1-800-522-6543
OUT OF STATE	1-800-654-8249
LOCAL	1-405-273-1250

## ENGINEERING DEPARTMENT

APPROVED AS FINAL PLANS:

_____ MAYOR	_____ DATE	_____ CITY ENGINEER	_____ DATE
_____ CITY MANAGER	_____ DATE		
_____ CITY CLERK	_____ DATE		



BENCHMARK — BM 1	
ELEVATION	1038.02
MONUMENT	CUT X ON TOP OF CURB
LOCATION	E. SIDE OF UNION AVENUE E. OF TENNIS COURTS

BENCHMARK — BM 2	
ELEVATION	1036.72
MONUMENT	CUT X ON TOP OF CURB
LOCATION	E. SIDE OF UNION AVENUE S. OF INTERSECTION OF UNION AVE. & HIGHLAND ST.

BENCHMARK — BM 3	
ELEVATION	1041.47
MONUMENT	CUT X ON TOP OF CURB
LOCATION	S. SIDE OF HIGHLAND ST. 135' W. OF INTERSECTION OF UNION AVE. & HIGHLAND ST.

BENCHMARK — BM 4	
ELEVATION	1047.86
MONUMENT	CUT X ON TOP OF CURB
LOCATION	S. SIDE OF HIGHLAND ST. E. SIDE OF ENTRANCE DRIVE TO PARK

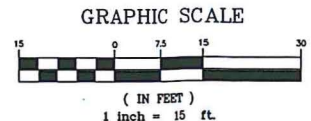
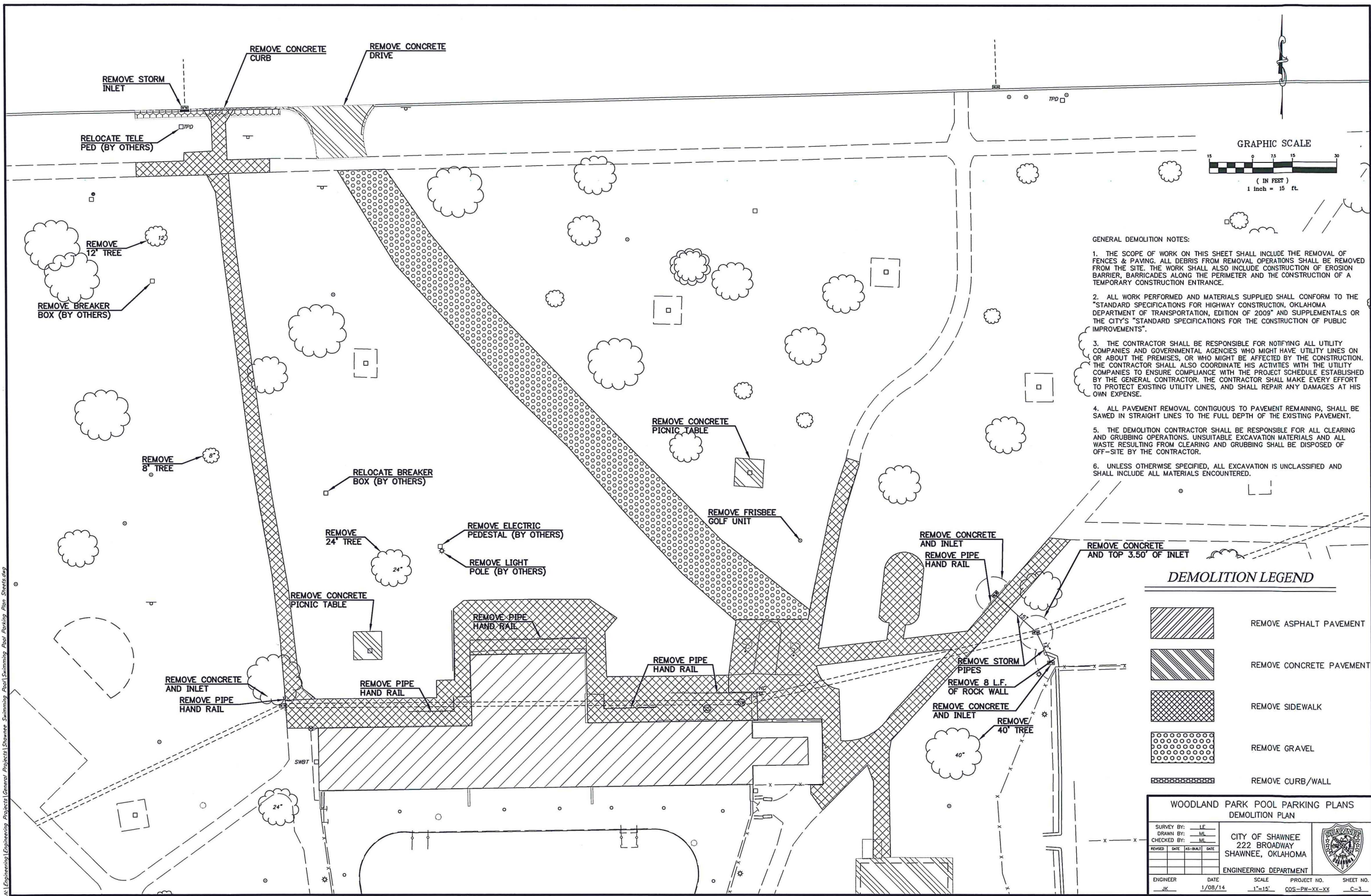
**WOODLAND PARK POOL PARKING PLANS  
EXISTING SITE**

SURVEY BY:	DTM		
DRAWN BY:	ML		
CHECKED BY:	ML		
REVISED	DATE	AS-BUILT	DATE

CITY OF SHAWNEE  
222 BROADWAY  
SHAWNEE, OKLAHOMA

ENGINEERING DEPARTMENT

ENGINEER	DATE	SCALE	PROJECT NO.	SHEET NO.
JK	1/08/14	1"=30'	COS-PW-XX-XX	C-2

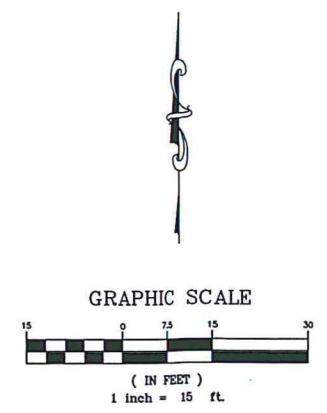
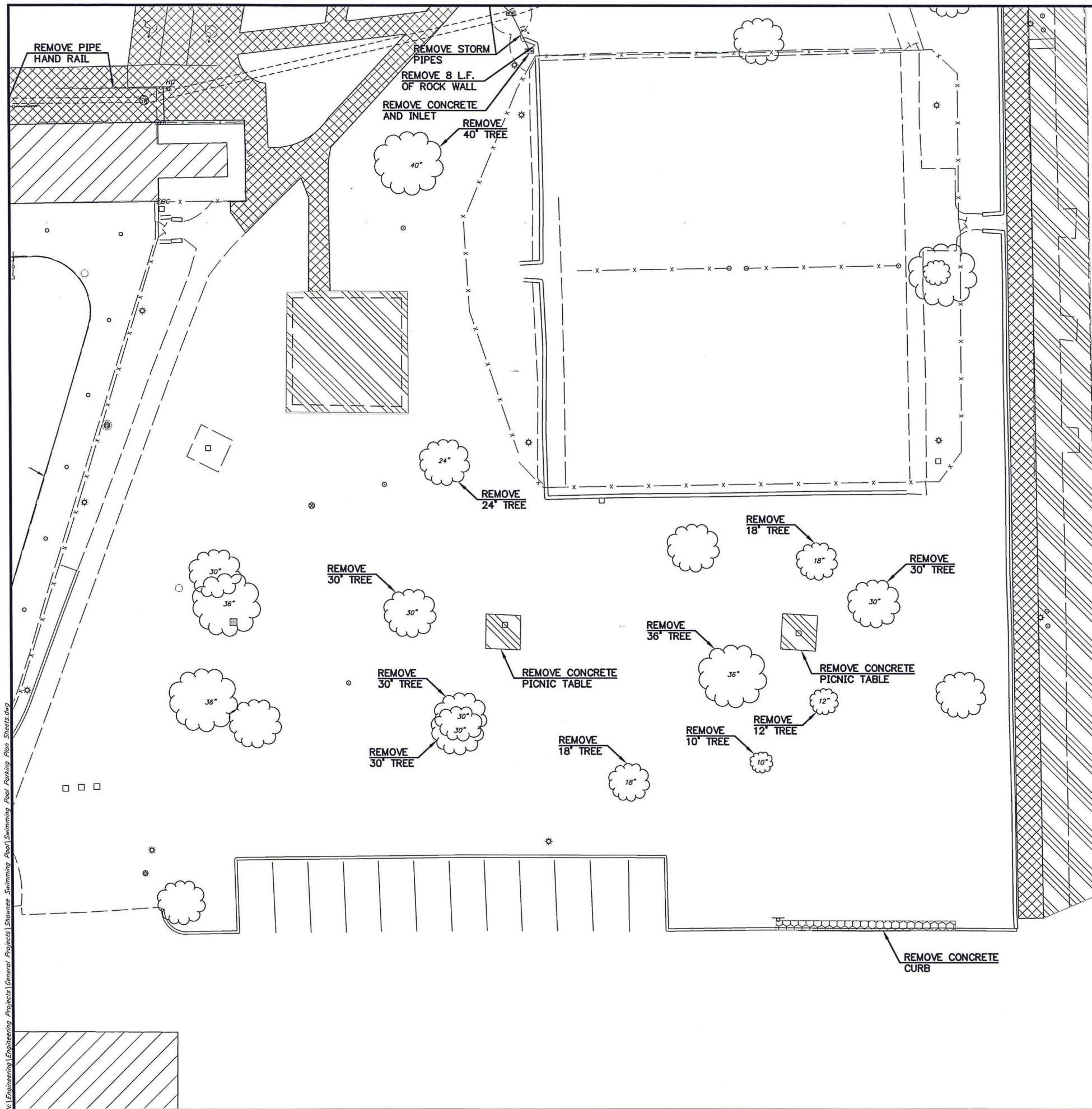


- GENERAL DEMOLITION NOTES:
1. THE SCOPE OF WORK ON THIS SHEET SHALL INCLUDE THE REMOVAL OF FENCES & PAVING. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE. THE WORK SHALL ALSO INCLUDE CONSTRUCTION OF EROSION BARRIER, BARRICADES ALONG THE PERIMETER AND THE CONSTRUCTION OF A TEMPORARY CONSTRUCTION ENTRANCE.
  2. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, OKLAHOMA DEPARTMENT OF TRANSPORTATION, EDITION OF 2009" AND SUPPLEMENTALS OR THE CITY'S "STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS".
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WHO MIGHT HAVE UTILITY LINES ON OR ABOUT THE PREMISES, OR WHO MIGHT BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE HIS ACTIVITIES WITH THE UTILITY COMPANIES TO ENSURE COMPLIANCE WITH THE PROJECT SCHEDULE ESTABLISHED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT EXISTING UTILITY LINES, AND SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE.
  4. ALL PAVEMENT REMOVAL CONTIGUOUS TO PAVEMENT REMAINING, SHALL BE SAWED IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT.
  5. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CLEARING AND GRUBBING OPERATIONS. UNSUITABLE EXCAVATION MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
  6. UNLESS OTHERWISE SPECIFIED, ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.

**DEMOLITION LEGEND**

- REMOVE ASPHALT PAVEMENT
- REMOVE CONCRETE PAVEMENT
- REMOVE SIDEWALK
- REMOVE GRAVEL
- REMOVE CURB/WALL



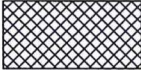
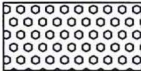

WOODLAND PARK POOL PARKING PLANS DEMOLITION PLAN				
SURVEY BY:	LF	CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA	ENGINEERING DEPARTMENT	
DRAWN BY:	ML			
CHECKED BY:	ML	SCALE		PROJECT NO.
REVISION	DATE	AS-BUILT	DATE	DATE
ENGINEER	DATE	SCALE	PROJECT NO.	SHEET NO.
JK	1/08/14	1"=15'	005-PW-XX-XX	C-3




**GENERAL DEMOLITION NOTES:**

1. THE SCOPE OF WORK ON THIS SHEET SHALL INCLUDE THE REMOVAL OF FENCES & PAVING. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE. THE WORK SHALL ALSO INCLUDE CONSTRUCTION OF EROSION BARRIER, BARRICADES ALONG THE PERIMETER AND THE CONSTRUCTION OF A TEMPORARY CONSTRUCTION ENTRANCE.
2. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, OKLAHOMA DEPARTMENT OF TRANSPORTATION, EDITION OF 2009" AND SUPPLEMENTALS OR THE CITY'S "STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS".
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WHO MIGHT HAVE UTILITY LINES ON OR ABOUT THE PREMISES, OR WHO MIGHT BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE HIS ACTIVITIES WITH THE UTILITY COMPANIES TO ENSURE COMPLIANCE WITH THE PROJECT SCHEDULE ESTABLISHED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT EXISTING UTILITY LINES, AND SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE.
4. ALL PAVEMENT REMOVAL CONTIGUOUS TO PAVEMENT REMAINING, SHALL BE SAWS IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT.
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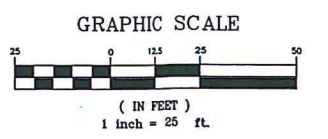
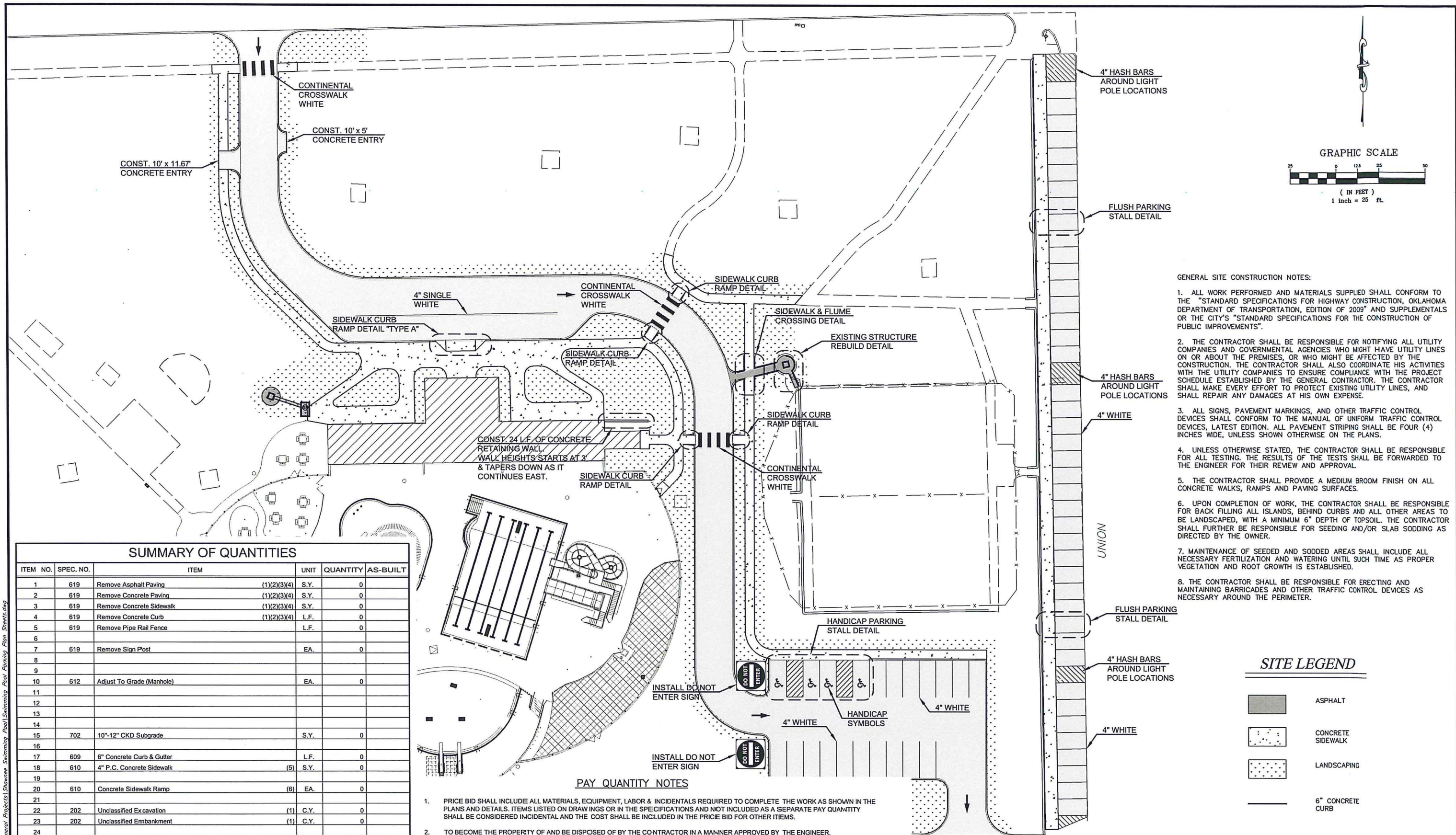
**DEMOLITION LEGEND**

-  REMOVE ASPHALT PAVEMENT
-  REMOVE CONCRETE PAVEMENT
-  REMOVE SIDEWALK
-  REMOVE GRAVEL
-  REMOVE CURB/WALL

**WOODLAND PARK POOL PARKING PLANS  
DEMOLITION PLAN**

SURVEY BY: LF		CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA		
DRAWN BY: ML		ENGINEERING DEPARTMENT		
CHECKED BY: ML		PROJECT NO. COS-PW-XX-XX		SHEET NO. C-3.1
REVISED	DATE	AS-BUILT	DATE	
ENGINEER	DATE	SCALE	PROJECT NO.	SHEET NO.
JK	1/08/14	1"=15'	COS-PW-XX-XX	C-3.1

A:\Engineering\Engineering Projects\General Projects\Shawnee Swimming Pool\Swimming Pool Parking Plan Sheets.dwg



- GENERAL SITE CONSTRUCTION NOTES:
1. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, OKLAHOMA DEPARTMENT OF TRANSPORTATION, EDITION OF 2009" AND SUPPLEMENTALS OR THE CITY'S "STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS".
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WHO MIGHT HAVE UTILITY LINES ON OR ABOUT THE PREMISES, OR WHO MIGHT BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE HIS ACTIVITIES WITH THE UTILITY COMPANIES TO ENSURE COMPLIANCE WITH THE PROJECT SCHEDULE ESTABLISHED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT EXISTING UTILITY LINES, AND SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE.
  3. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL PAVEMENT STRIPING SHALL BE FOUR (4) INCHES WIDE, UNLESS SHOWN OTHERWISE ON THE PLANS.
  4. UNLESS OTHERWISE STATED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING. THE RESULTS OF THE TESTS SHALL BE FORWARDED TO THE ENGINEER FOR THEIR REVIEW AND APPROVAL.
  5. THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS AND PAVING SURFACES.
  6. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACK FILLING ALL ISLANDS, BEHIND CURBS AND ALL OTHER AREAS TO BE LANDSCAPED, WITH A MINIMUM 6" DEPTH OF TOPSOIL. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR SEEDING AND/OR SLAB SODDING AS DIRECTED BY THE OWNER.
  7. MAINTENANCE OF SEEDED AND SODDED AREAS SHALL INCLUDE ALL NECESSARY FERTILIZATION AND WATERING UNTIL SUCH TIME AS PROPER VEGETATION AND ROOT GROWTH IS ESTABLISHED.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING AND MAINTAINING BARRICADES AND OTHER TRAFFIC CONTROL DEVICES AS NECESSARY AROUND THE PERIMETER.

SUMMARY OF QUANTITIES						
ITEM NO.	SPEC. NO.	ITEM	UNIT	QUANTITY	AS-BUILT	
1	619	Remove Asphalt Paving	(1)(2)(3)(4)	S.Y.	0	
2	619	Remove Concrete Paving	(1)(2)(3)(4)	S.Y.	0	
3	619	Remove Concrete Sidewalk	(1)(2)(3)(4)	S.Y.	0	
4	619	Remove Concrete Curb	(1)(2)(3)(4)	L.F.	0	
5	619	Remove Pipe Rail Fence		L.F.	0	
6						
7	619	Remove Sign Post		EA.	0	
8						
9						
10	612	Adjust To Grade (Manhole)		EA.	0	
11						
12						
13						
14						
15	702	10"-12" CKD Subgrade		S.Y.	0	
16						
17	609	6" Concrete Curb & Gutter		L.F.	0	
18	610	4" P.C. Concrete Sidewalk	(5)	S.Y.	0	
19						
20	610	Concrete Sidewalk Ramp	(6)	EA.	0	
21						
22	202	Unclassified Excavation	(1)	C.Y.	0	
23	202	Unclassified Embankment	(1)	C.Y.	0	
24						
25						
26	854	Traffic Stripe (4" Wide) (Yellow)		L.F.	0	
27	854	Traffic Symbol		EA.	0	
28	230	Solid Slab Sodding	(7)	L.S.	1.00	
29	Spec.	Parking Curbs (Concrete)		EA.	0	
30	850	Handicap Parking Sign		EA.	0	
31	880	Traffic Control		L.S.	1.00	
32	221	Erosion Control		L.S.	1.00	
33	641	Mobilization		L.S.	1.00	
34	642	Construction Staking		L.S.	1.00	

**PAY QUANTITY NOTES**

1. PRICE BID SHALL INCLUDE ALL MATERIALS, EQUIPMENT, LABOR & INCIDENTALS REQUIRED TO COMPLETE THE WORK AS SHOWN IN THE PLANS AND DETAILS. ITEMS LISTED ON DRAWINGS OR IN THE SPECIFICATIONS AND NOT INCLUDED AS A SEPARATE PAY QUANTITY SHALL BE CONSIDERED INCIDENTAL AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR OTHER ITEMS.
2. TO BECOME THE PROPERTY OF AND BE DISPOSED OF BY THE CONTRACTOR IN A MANNER APPROVED BY THE ENGINEER.
3. MATERIALS REMOVED SHALL NOT BE MEASURED FOR PAYMENT UNDER SECTION 202.06 UNCLASSIFIED EXCAVATION.
4. SAW CUTS TO BE FULL DEPTH UNLESS NOTED OTHERWISE. DAMAGE TO EXISTING UTILITY LINES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
5. PRICE BID TO INCLUDE NECESSARY ROCK BASE AS SHOWN.
6. PRICE TO INCLUDE PREP ARATION OF CONCRETE AND INSTALLATION OF TACTILE WARNING STRIP ON RAMPS CONNECTED TO ROAD CROSSINGS.
7. A MINIMUM OF 6" TOPSOIL REQUIRED ON ALL SODDED AREAS. FINISH GRADE OF SODD AREAS TO BE 1" BE LOW ADJACENT HARDSCAPE. GRADING SHALL BE CONSIDERED AS INCIDENTAL TO THE INSTALLATION OF THE DRIVES, SIDEWALK AND CURBS AND SHALL ALLOW FOR POSITIVE DRAINAGE TO ELIMINATE PONDING IN DRIVES AND SIDEWALK. PRICE TO INCLUDE COST OF WATERING UNTIL SATISFACTORY GROWTH IS ESTABLISHED.

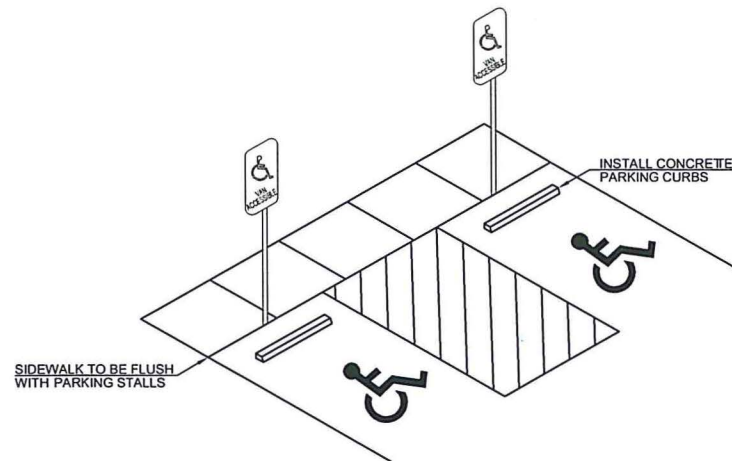
**SITE LEGEND**

- ASPHALT
- CONCRETE SIDEWALK
- LANDSCAPING
- 6" CONCRETE CURB

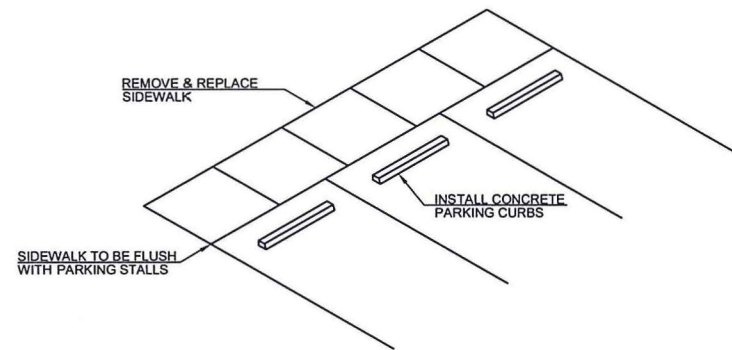
WOODLAND PARK POOL PARKING PLANS  
PROPOSED SITE PLAN

SURVEY BY: L.F.	CITY OF SHAWNEE	ENGINEERING DEPARTMENT
DRAWN BY: M.L.	222 BROADWAY	
CHECKED BY: M.L.	SHAWNEE, OKLAHOMA	
REVISIONS:		
ENGINEER: JK	DATE: 1/09/14	SHEET NO.: C-4

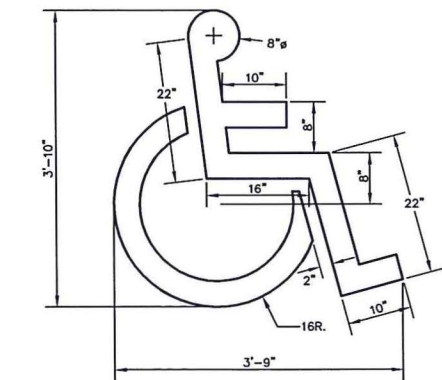
M:\Engineering\Engineering Projects\General Projects\Shawnee Pool\Swimming Pool\Swimming Pool Parking Plan Sheets.dwg



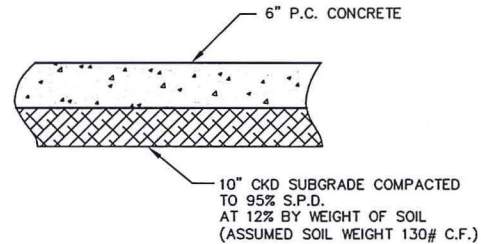
**HANDICAP PARKING STALL**



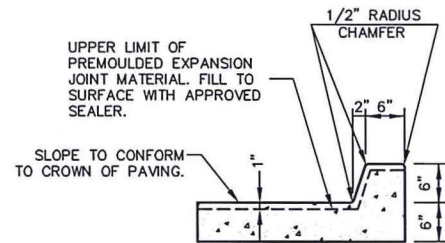
**FLUSH PARKING STALL ALONG UNION AVENUE**



**HANDICAP PAVEMENT MARKING DETAIL**

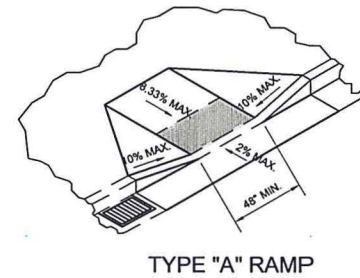


**CONCRETE PAVING SECTION**

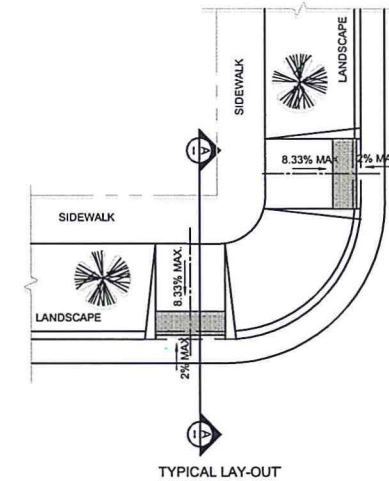


NOTE:  
MAXIMUM SPACING OF 3/4" EXPANSION JOINTS TO BE 100' C/C WITH 4 CONTRACTION JOINTS 18'-22' APART.

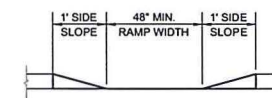
**CONCRETE CURB DETAIL**



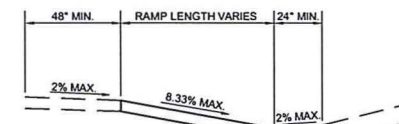
**TYPE "A" RAMP**



**TYPICAL LAY-OUT**



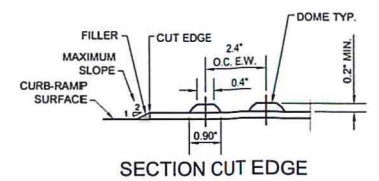
**FRONT ELEVATION**



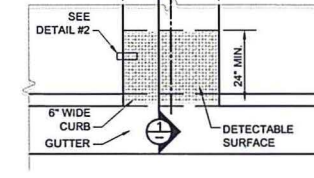
**SECTION A-A**

**STANDARD SIDEWALK CURB RAMP**

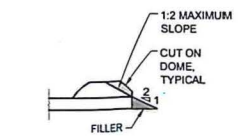
- Detectable Truncated Dome Specifications:
- Bottom diameter of 0.9 - 1.4 in.
  - Top diameter of 0.4 - 0.9 in.
  - Height of 0.2 in.
  - Center-to-center spacing of 1.6 - 2.4 in.
  - Base-to-base spacing of 0.65 in. min.
  - Visual contrast.



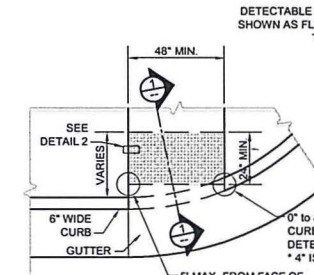
**SECTION CUT EDGE**



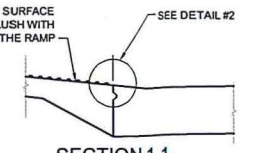
**DETECTABLE SURFACE LAYOUT RAMP ON STRAIGHT EDGE**



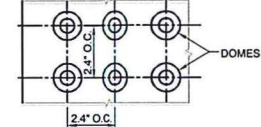
**DETAIL AT CUT DOME**



**DETECTABLE SURFACE LAYOUT RAMP ON CURVED EDGE**

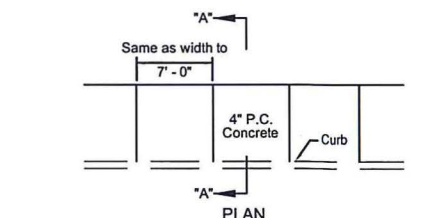


**SECTION 1-1**

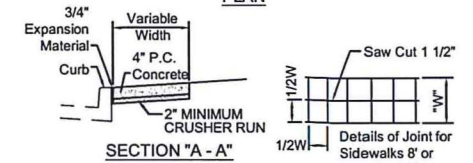


**DETAIL 2**

**DETECTABLE SURFACE FOR RAMPS**



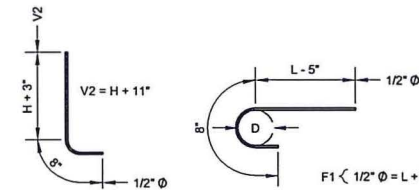
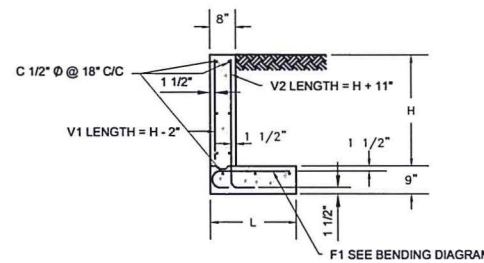
**PLAN**



**SECTION "A-A"**

- NOTES:
1. 3/4" x 4" premoled expansion material around P.P. or other structures in walk.
  2. Expansion joints maximum distance = 100', used 3/4" x 4" premoled expansion material.
  3. Contraction joints maximum distance = 7', saw cut 1 1/2" deep.
  4. Saw cut joints within 24 hours.
  5. Use 3/4" x 4" premoled expansion joint at curb.

**SIDEWALK DETAIL**



**BENDING DIAGRAM**

H	L	F1 BAR		C BAR		V1 BAR		V2 BAR		QUANTITIES		
		SIZE	SPC.	# REQ'D	SIZE	SPC.	SIZE	SPC.	SIZE	SPC.	REINF STEEL LBS. PER L.F.	CONC. C.Y. PER LF.
2'-0"	2'-0"	1/2"	@ 12"	6	1/2"	@ 18"	1/2"	@ 12"	1	1/2"	8.28	0.105
3'-0"	2'-7"	1/2"	@ 12"	8	1/2"	@ 18"	1/2"	@ 12"	1	1/2"	11.11	0.146

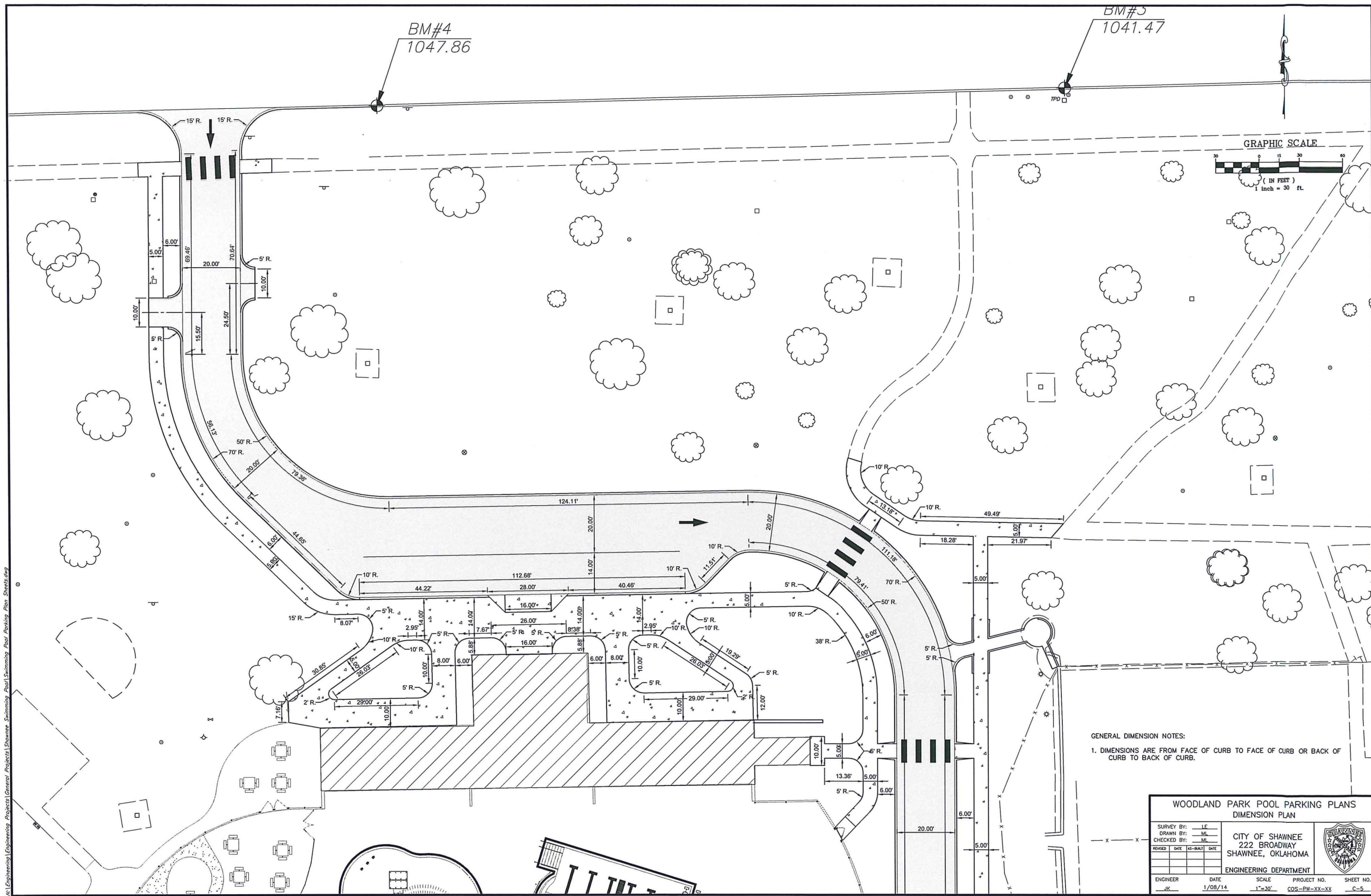
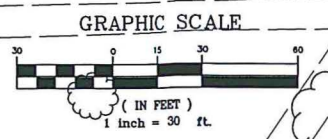
**RETAINING WALL DETAILS**

**WOODLAND PARK POOL PARKING PLANS  
SITE CONSTRUCTION DETAILS**

SURVEY BY: LF	CITY OF SHAWNEE	ENGINEERING DEPARTMENT		
DRAWN BY: ML	222 BROADWAY			
CHECKED BY: ML	SHAWNEE, OKLAHOMA			
REVISION	DATE	AS-BUILT	DATE	
ENGINEER	DATE	SCALE	PROJECT NO.	SHEET NO.
JK	1/08/14	N.T.S.	QOS-PW-XX-XX	C-41

BM#4  
1047.86

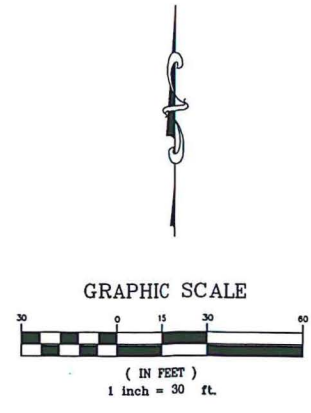
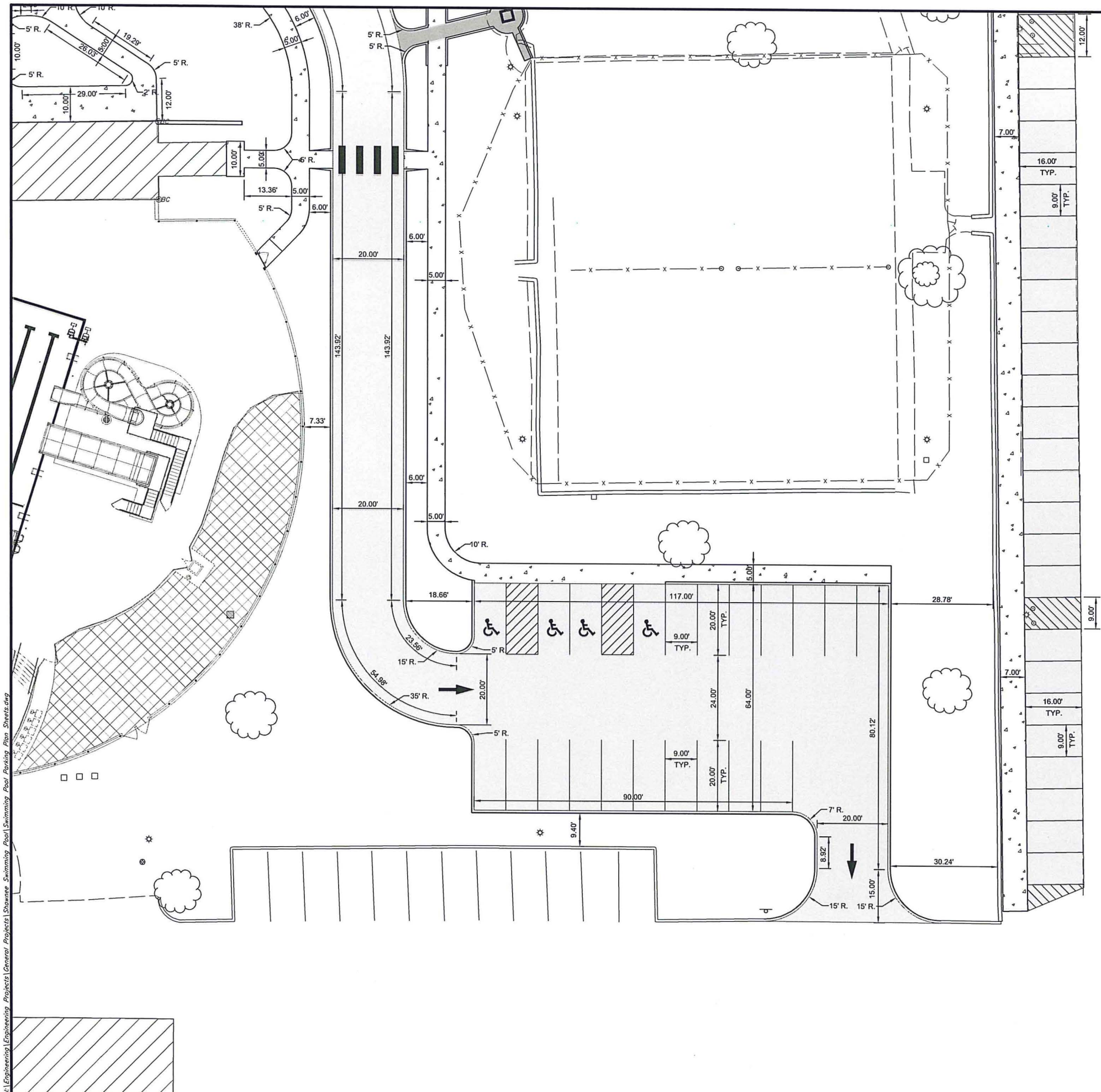
BM#5  
1041.47



GENERAL DIMENSION NOTES:  
1. DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB OR BACK OF CURB TO BACK OF CURB.

WOODLAND PARK POOL PARKING PLANS DIMENSION PLAN			
SURVEY BY: LE	DATE	AS-BUILT	DATE
DRAWN BY: ML			
CHECKED BY: ML			
ENGINEER	DATE	SCALE	PROJECT NO.
JK	1/08/14	1"=30'	COS-PW-XX-XX
CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA			SHEET NO. C-5
ENGINEERING DEPARTMENT			

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GENERAL DIMENSION NOTES:  
 1. DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB OR BACK OF CURB TO BACK OF CURB.

**WOODLAND PARK POOL PARKING PLANS  
 DIMENSION PLAN**

SURVEY BY:	LF		
DRAWN BY:	ML		
CHECKED BY:	ML		
REVISED	DATE	AS-BUILT	DATE

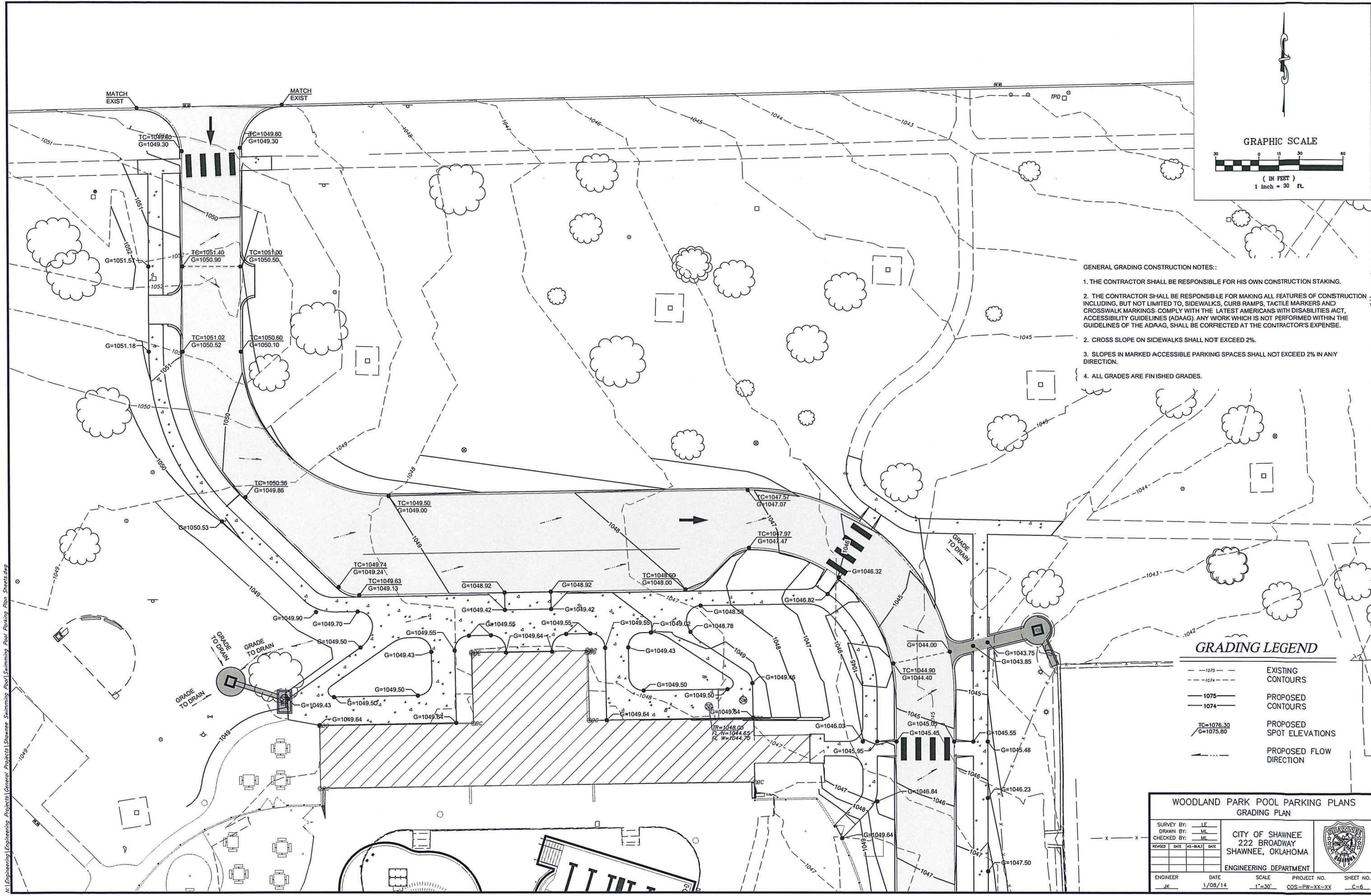
CITY OF SHAWNEE  
 222 BROADWAY  
 SHAWNEE, OKLAHOMA

ENGINEERING DEPARTMENT

ENGINEER	DATE	SCALE	PROJECT NO.	SHEET NO.
JK	1/08/14	1"=30'	COS-PW-XX-XX	C-5.1

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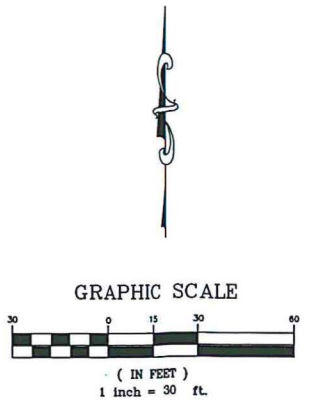
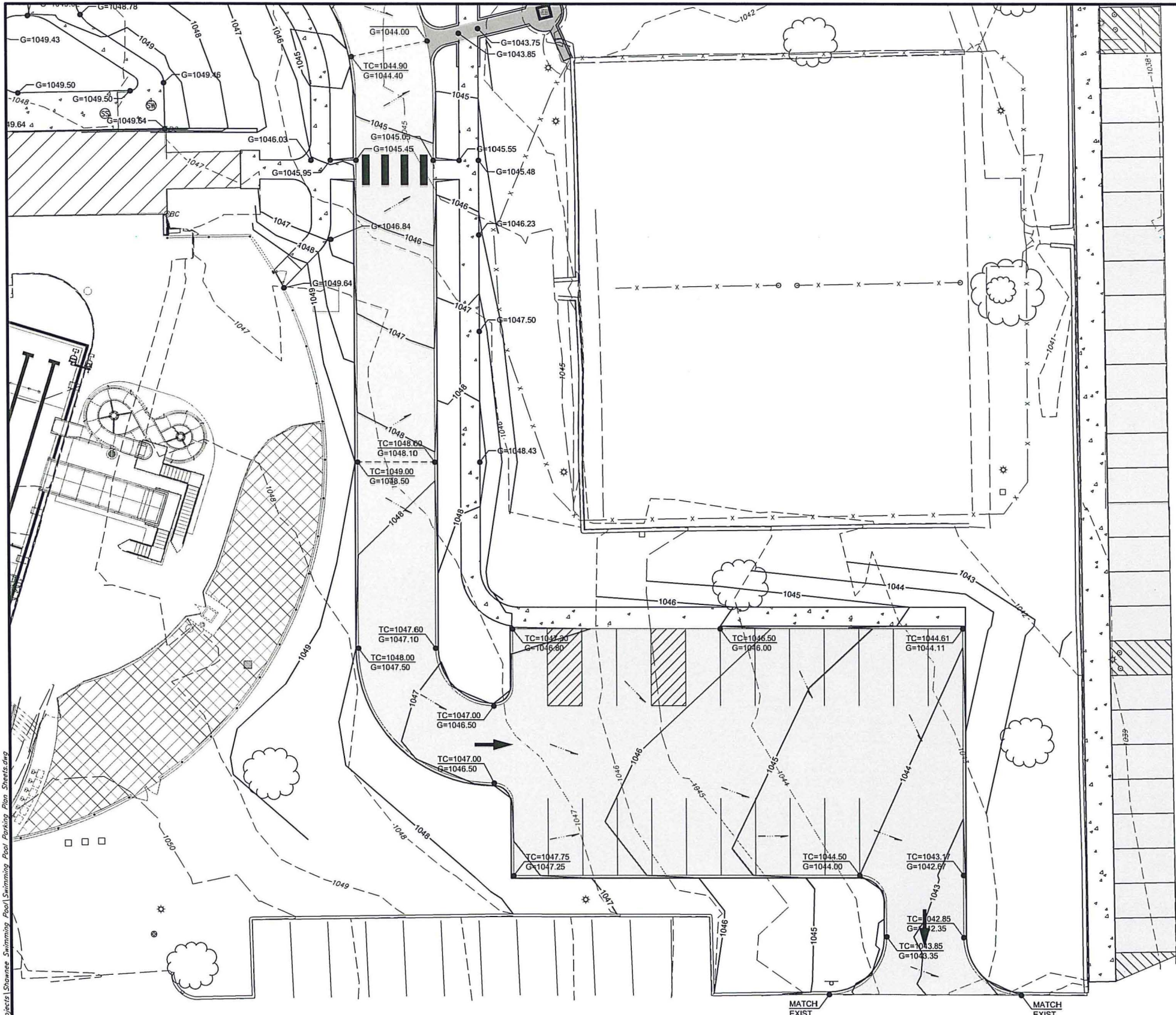
- GENERAL GRADING CONSTRUCTION NOTES::**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL FEATURES OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, CURB RAMPS, TACTILE MARKERS AND CROSSWALK MARKINGS COMPLY WITH THE LATEST AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES (ADAAG). ANY WORK WHICH IS NOT PERFORMED WITHIN THE GUIDELINES OF THE ADAAG, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
  3. CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2%.
  3. SLOPES IN MARKED ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
  4. ALL GRADES ARE FINISHED GRADES.

**GRADING LEGEND**

- - - 1075 - - - EXISTING CONTOURS
- - - 1074 - - - EXISTING CONTOURS
- 1075 — PROPOSED CONTOURS
- 1074 — PROPOSED CONTOURS
- TC=1076.30  
G=1075.80 PROPOSED SPOT ELEVATIONS
- >—>—> PROPOSED FLOW DIRECTION

<b>WOODLAND PARK POOL PARKING PLANS</b>			
<b>GRADING PLAN</b>			
SURVEY BY: JL	DATE: 1/08/14	SCALE: 1"=30'	PROJECT NO. COS-PW-XY-XX
DRAWN BY: ML	CHECKED BY: ML	ENGINEER: JK	SHEET NO. C-6
CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA		ENGINEERING DEPARTMENT	

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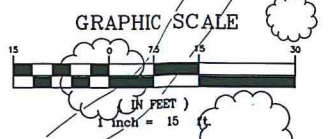
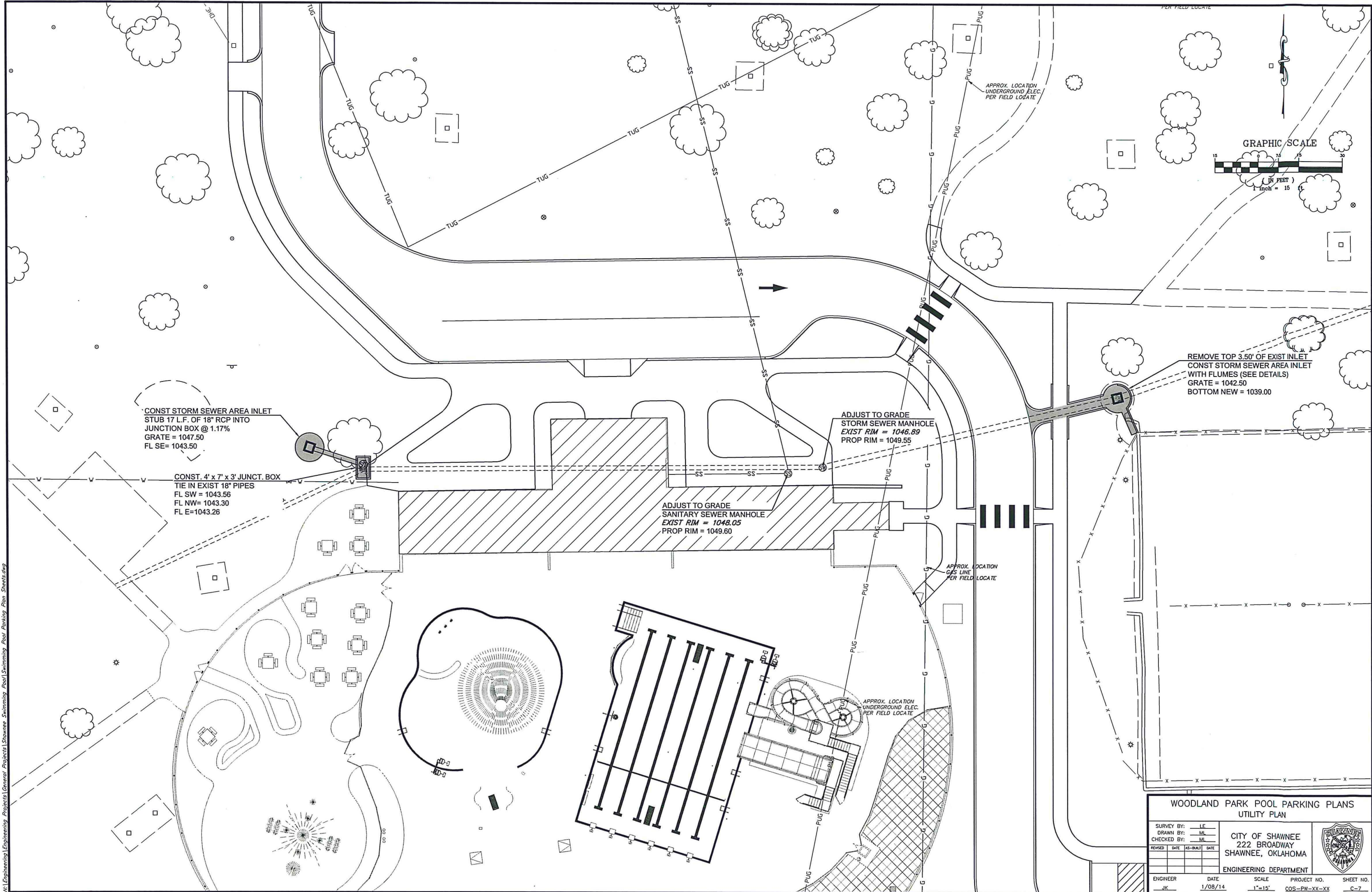


**GRADING LEGEND**

---1075---	EXISTING CONTOURS
---1074---	EXISTING CONTOURS
—1075—	PROPOSED CONTOURS
—1074—	PROPOSED CONTOURS
TC=1076.30 G=1075.80	PROPOSED SPOT ELEVATIONS
→	PROPOSED FLOW DIRECTION

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<b>WOODLAND PARK POOL PARKING PLANS</b>					
GRADING PLAN					
SURVEY BY: LE		CITY OF SHAWNEE			
DRAWN BY: ML		222 BROADWAY			
CHECKED BY: ML		SHAWNEE, OKLAHOMA			
		ENGINEERING DEPARTMENT			
ENGINEER	DATE	SCALE	PROJECT NO.	SHEET NO.	
JK	1/08/14	1"=30'	COS-PW-XX-XX	C-6.1	



CONST STORM SEWER AREA INLET  
 STUB 17 L.F. OF 18" RCP INTO  
 JUNCTION BOX @ 1.17%  
 GRATE = 1047.50  
 FL SE = 1043.50

CONST. 4' x 7' x 3' JUNCT. BOX  
 TIE IN EXIST 18" PIPES  
 FL SW = 1043.56  
 FL NW = 1043.30  
 FL E = 1043.26

ADJUST TO GRADE  
 SANITARY SEWER MANHOLE  
 EXIST RIM = 1048.05  
 PROP RIM = 1049.60

ADJUST TO GRADE  
 STORM SEWER MANHOLE  
 EXIST RIM = 1046.89  
 PROP RIM = 1049.55

REMOVE TOP 3.50' OF EXIST INLET  
 CONST STORM SEWER AREA INLET  
 WITH FLUMES (SEE DETAILS)  
 GRATE = 1042.50  
 BOTTOM NEW = 1039.00

APPROX. LOCATION  
 GAS LINE  
 PER FIELD LOCATE

APPROX. LOCATION  
 UNDERGROUND ELEC.  
 PER FIELD LOCATE

WOODLAND PARK POOL PARKING PLANS  
 UTILITY PLAN

SURVEY BY: L.E.  
 DRAWN BY: M.L.  
 CHECKED BY: M.L.

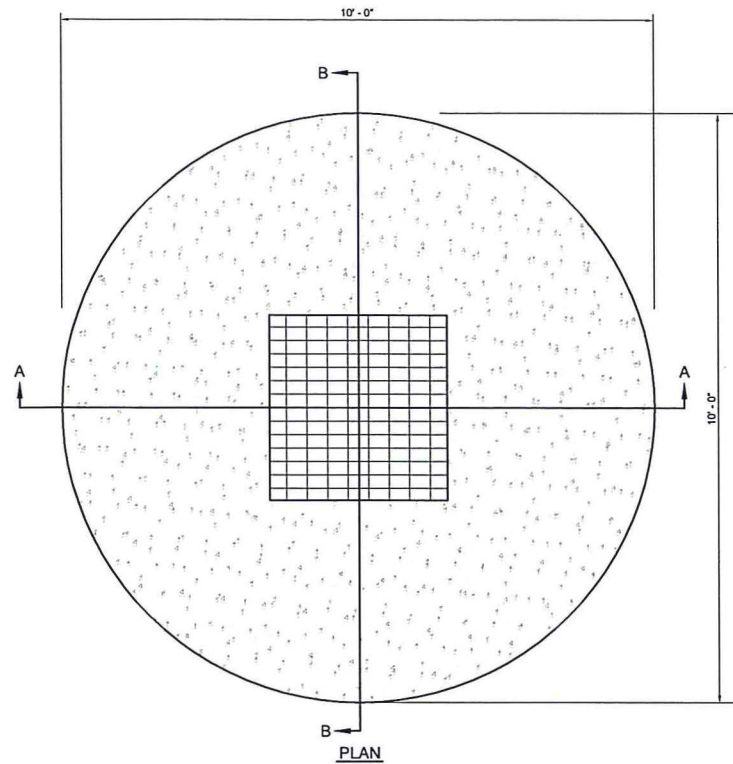
CITY OF SHAWNEE  
 222 BROADWAY  
 SHAWNEE, OKLAHOMA



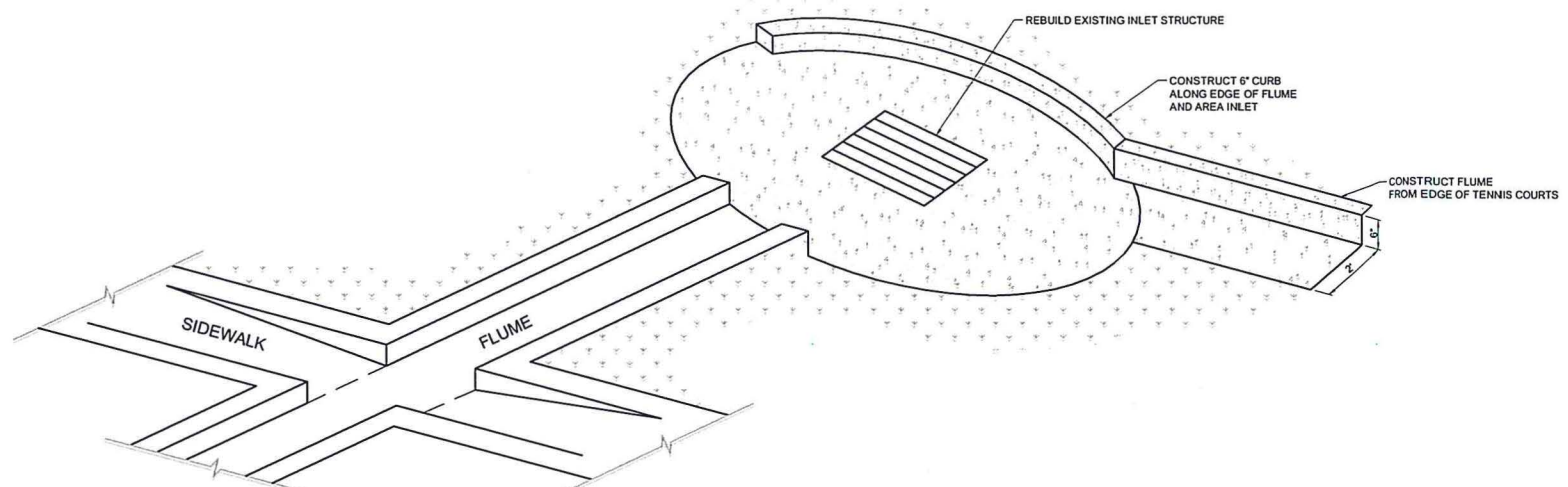
ENGINEERING DEPARTMENT

ENGINEER	DATE	SCALE	PROJECT NO.	SHEET NO.
JK	1/08/14	1"=15'	COS-PW-XX-XX	C-7

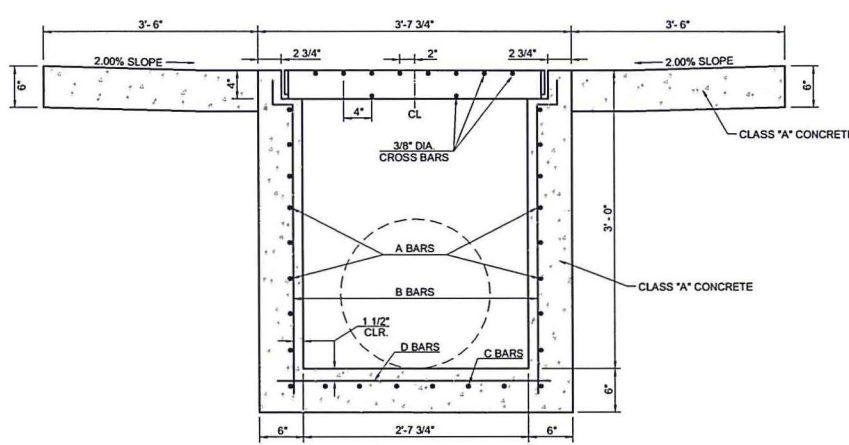
X:\Engineering\Engineering Projects\General Projects\Shawnee Swimming Pool\Swimming Pool Parking Plan Streets.dwg



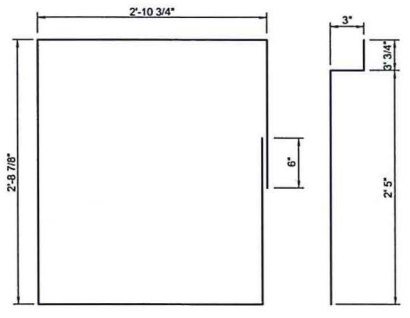
PLAN



EXISTING STRUCTURE REBUILD



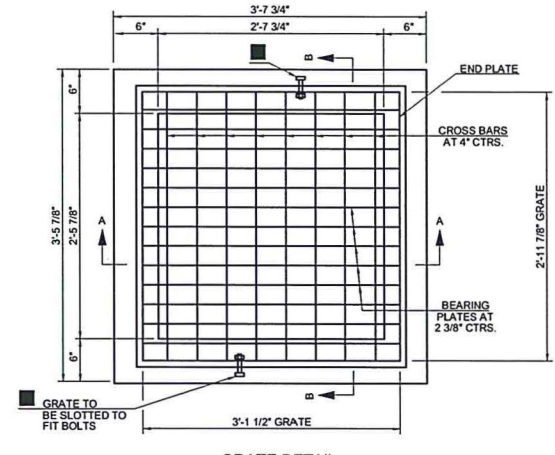
SECTION A-A



BAR A

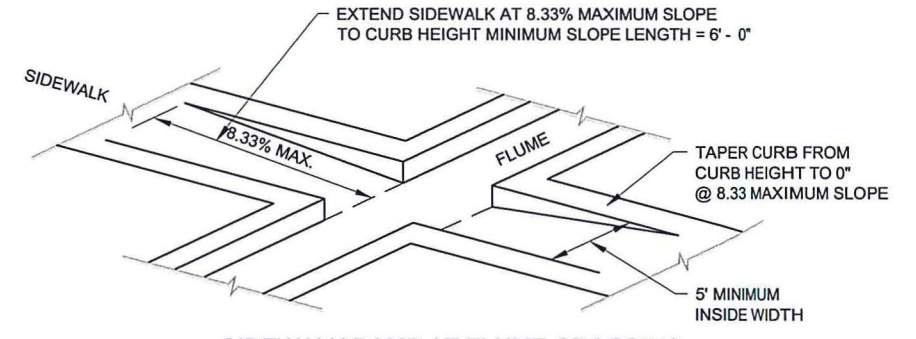
BAR B

BAR LIST				
BAR	SIZE	SHAPE	LENGTH	SPACE
A	#4	BENT	11' - 10"	6" C/C
B	#4	BENT	2' - 11 3/4"	6" C/C
C	#5	STR.	3' - 1 7/8"	6" C/C
D	#5	STR.	3' - 3 3/4"	6" C/C

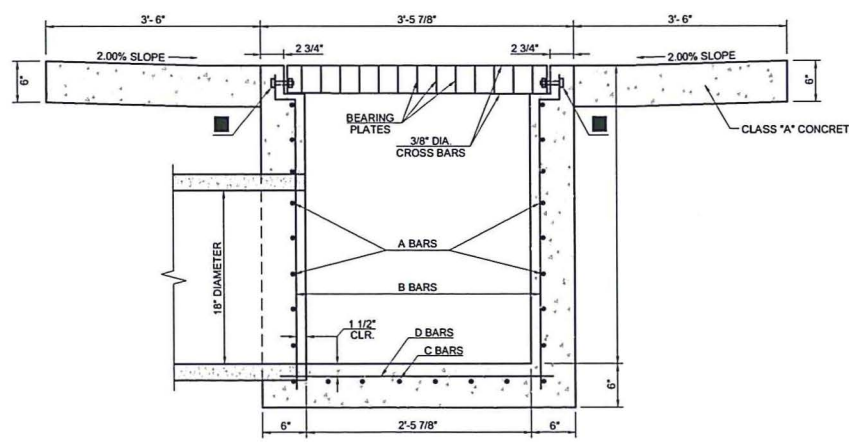


GRATE DETAIL

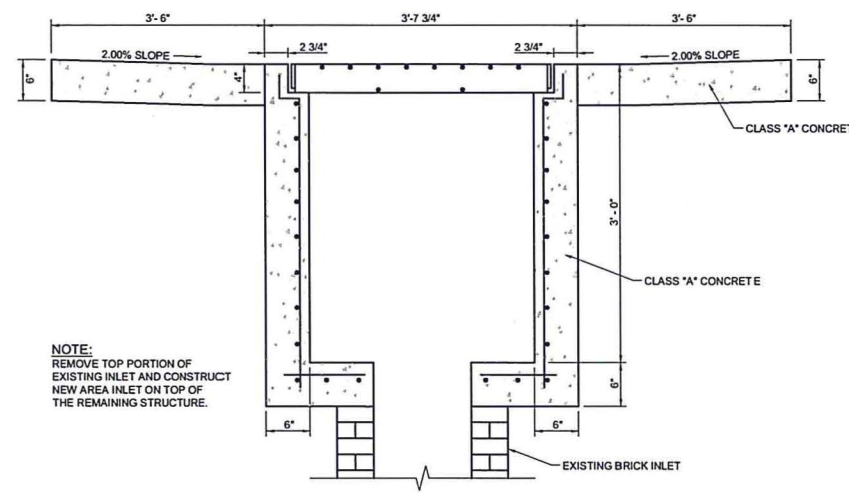
1/2" DIA. x 3 1/2" STD. HEX BOLT W/ NUT (2 TOTAL)  
 CROSS BARS - 3/8" DIA. x 2'-11 7/8" (10 TOTAL)  
 END PLATES - 3 1/2" x 1/4" x 2'-11 7/8" (2 TOTAL)  
 BEARING PLATES - 4" x 1/4" x 3'-1" (16 TOTAL)



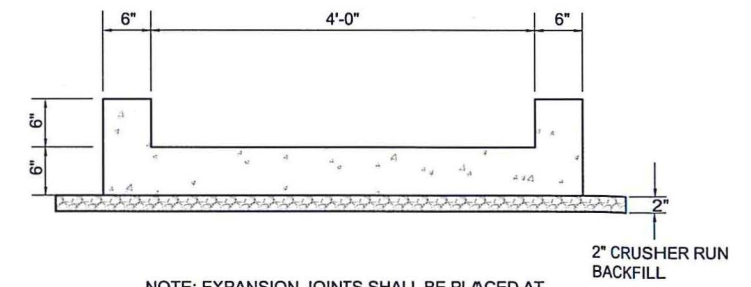
SIDEWALK RAMP AT FLUME CROSSING



SECTION B-B



EXISTING STRUCTURE REBUILD SECTION



NOTE: EXPANSION JOINTS SHALL BE PLACED AT LOCATIONS TIEING TO PAVING. CONTROL JOINTS SHALL BE SAWED @ 10' INTERVALS. SEALER SHALL BE USED IN ALL JOINTS.

CONCRETE FLUME DETAIL

STORM SEWER AREA INLET SINGLE GRATING

WOODLAND PARK POOL PARKING PLANS  
 UTILITY PLAN DETAILS

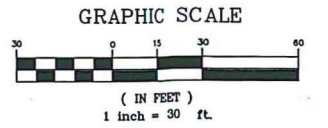
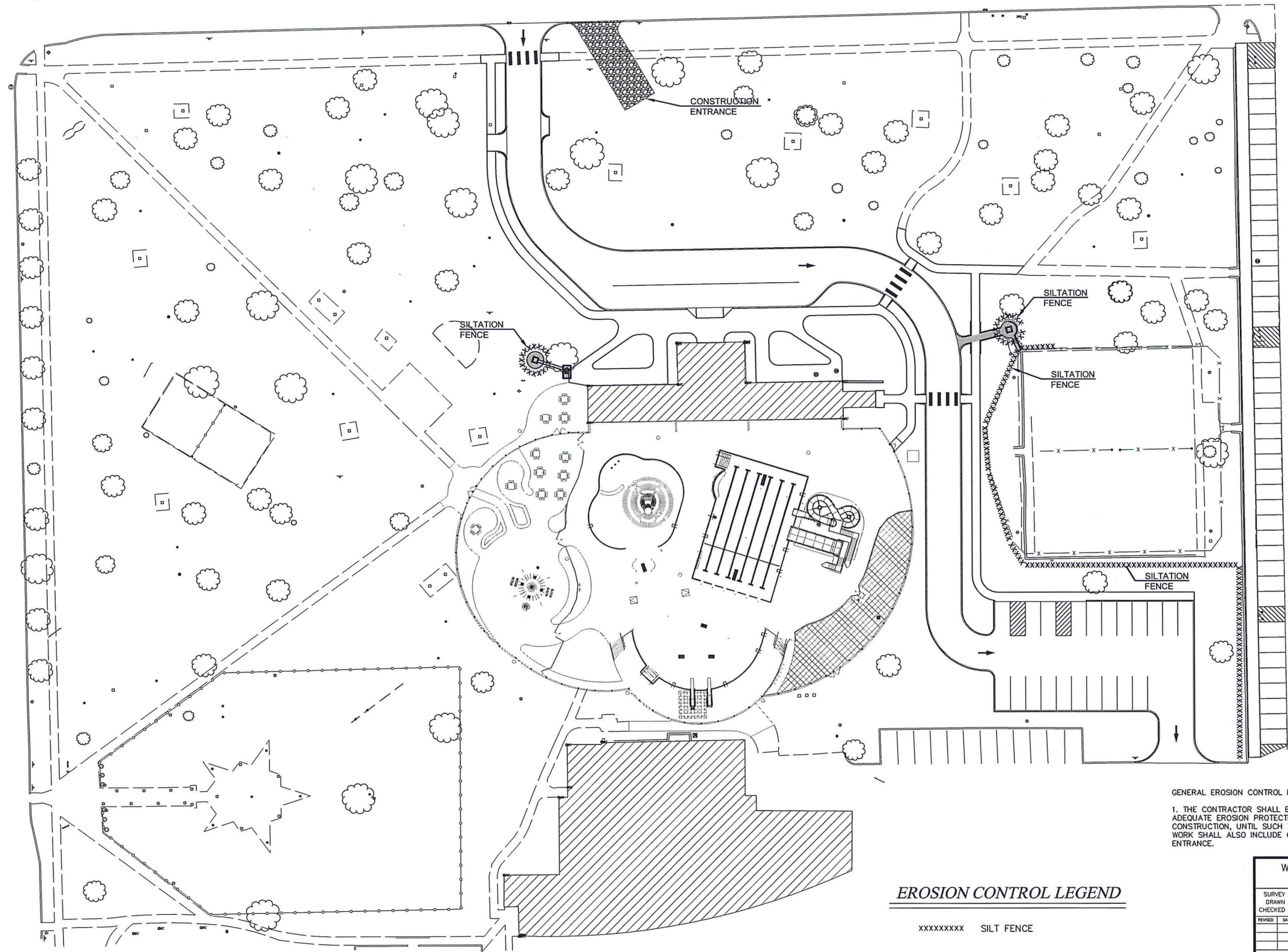
SURVEY BY: LE	DATE: 1/08/14	SCALE: 1"=50'	PROJECT NO: COS-PW-XX-XX	SHEET NO: C-7.1
DRAWN BY: ML				
CHECKED BY: ML				
ENGINEER: JK				

CITY OF SHAWNEE  
 222 BROADWAY  
 SHAWNEE, OKLAHOMA

ENGINEERING DEPARTMENT

W:\Engineering\Projects\General Projects\Shawnee - Swimming Pool\Swimming Pool Parking Plan Sheets.dwg


X:\Engineering\Engineering Projects\General Projects\Shawnee Swimming Pool\Swimming Pool Parking Plan Sheets.dwg



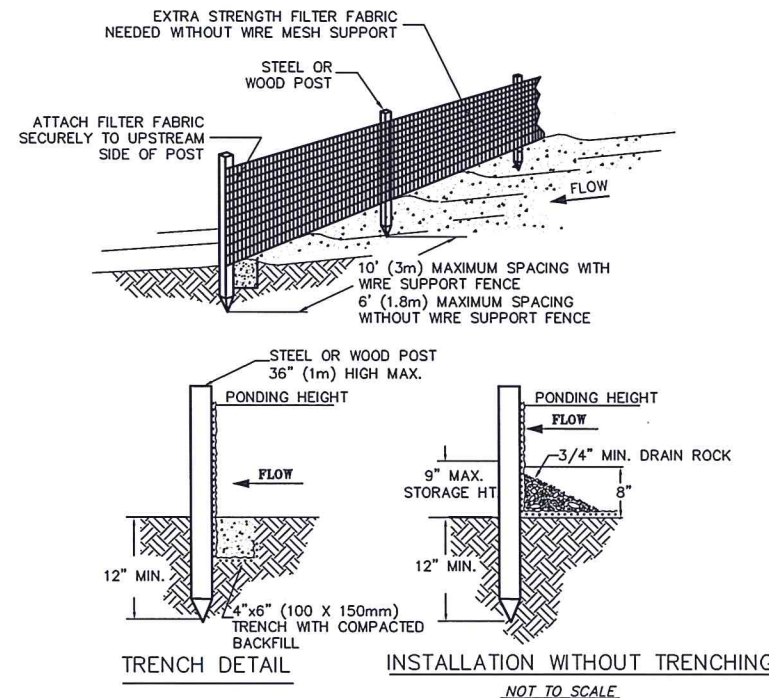
GENERAL EROSION CONTROL NOTES:  
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE EROSION PROTECTION DURING CONSTRUCTION AND FOLLOWING CONSTRUCTION, UNTIL SUCH TIME AS PROPER VEGETATION IS REESTABLISHED. THE WORK SHALL ALSO INCLUDE CONSTRUCTION OF A TEMPORARY CONSTRUCTION ENTRANCE.

**EROSION CONTROL LEGEND**

XXXXXXXX SILT FENCE

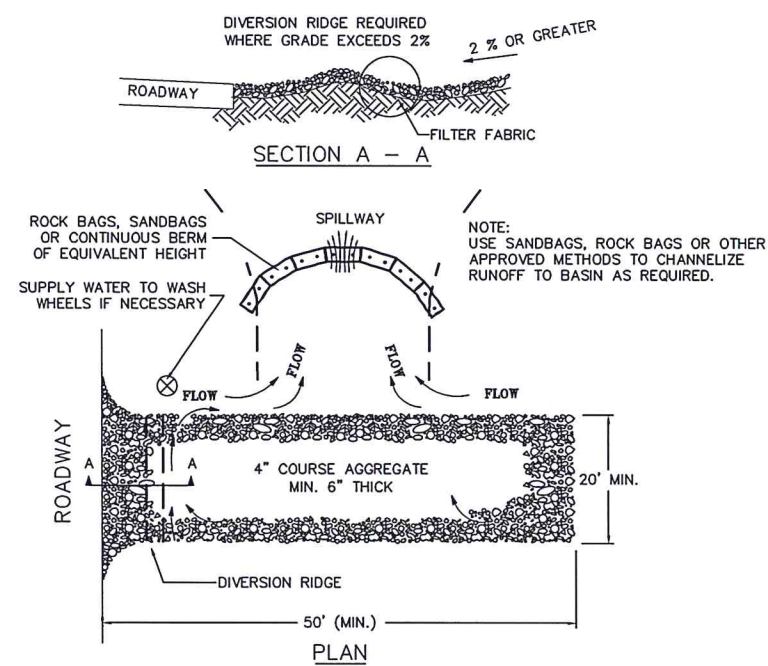
WOODLAND PARK POOL PARKING PLANS EROSION CONTROL PLAN					
SURVEY BY:	LE				
DRAWN BY:	ML				
CHECKED BY:	ML				
REVISED	DATE	AS-BUILT	DATE		
CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA					
ENGINEERING DEPARTMENT					
ENGINEER	DATE	SCALE	PROJECT NO.	SHEET NO.	
JK	1/08/14	1"=30'	COS-PW-XX-XX	C-8	

M:\Engineering\Engineering Projects\General Projects\Shawnee Swimming Pool\Swimming Pool Parking Plan Sheets.dwg



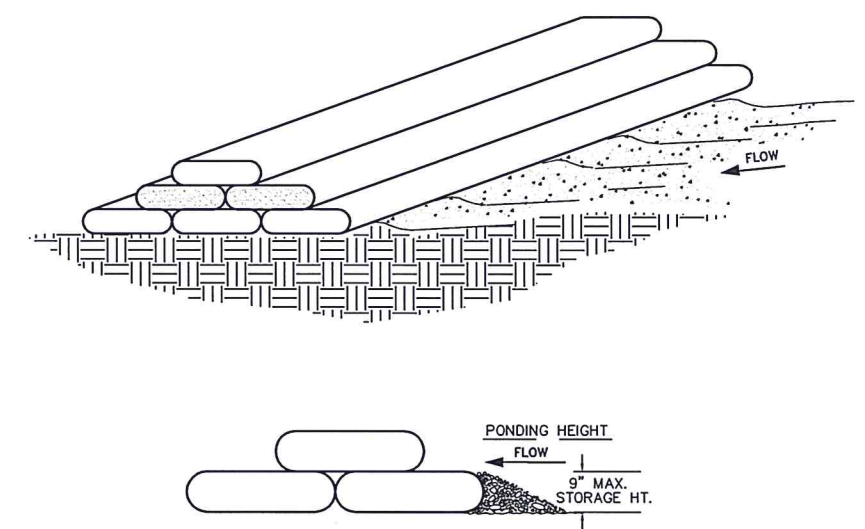
- NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
  2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
  3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

SILT FENCE DETAIL  
NO SCALE



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY CONSTRUCTION ENTRANCE  
NO SCALE



ROCK BAG DETAIL  
NOT TO SCALE

- NOTES:
1. A 'REASONABLE' DESIGN SIZE PARTICLE MUST BE SELECTED.
  2. SIZE DISTRIBUTION FOR UPSTREAM SOIL PARTICLES MUST BE EVALUATED.
  3. INFLOW AND OUTFLOW FROM THE SYSTEM FOR A SPECIFIC FREQUENCY STORM MUST BE KNOWN.
  4. POND VOLUME IS DIRECTLY PROPORTIONAL TO THE DISCHARGE RATE OF THE SYSTEM.
  5. POND VOLUME IS INVERSELY SUFFICIENT FLOW TO ALLOW FOR DEPOSITION OF DESIGN PARTICLES.
  6. A SYSTEM MUST PROVIDE SUFFICIENT FLOW TO ALLOW FOR DEPOSITION OF DESIGN PARTICLES.
  7. THE PONDING HEIGHT MUST BE WELL BELOW THE GROUND ELEVATION DOWN SLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWN SLOPE SIDE ON THE STRUCTURE.
  8. ROCK BAG SILT BARRIER SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
  9. PLACE ROCK BAG SUCH THAT NO GAPS ARE EVIDENT.
  10. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
  11. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

ROCK BAG DETAIL  
NO SCALE

WOODLAND PARK POOL PARKING PLANS EROSION CONTROL DETAILS			
SURVEY BY: LE	CITY OF SHAWNEE	ENGINEERING DEPARTMENT	
DRAWN BY: ML	222 BROADWAY		
CHECKED BY: ML	SHAWNEE, OKLAHOMA		
REVISED	DATE	AS-BUILT	DATE
ENGINEER	DATE	SCALE	PROJECT NO.
JK	1/08/14	1"=50'	COS-PW-XX-XX
			SHEET NO.
			C-8.1

**Regular Board of Commissioners**

**2. d.**

**Meeting Date:** 03/17/2014

Workers Comp Freeman

Submitted By: Donna Mayo, Administration

Department: Administration

---

Information

Title of Item for Agenda

Workers Comp Settlement – Darrell Freeman

---

Attachments

Workers Comp Freeman

**Mayor**  
WES MAINORD



## The City of Shawnee

PO Box 1448  
Shawnee Oklahoma 74802-1448  
(405) 273-1250 Fax (405) 878-  
1581

[www.ShawneeOK.org](http://www.ShawneeOK.org)

## Commissioners

PAM STEPHENS  
LINDA AGEE  
JAMES HARROD  
KEITH HALL  
JOHN WINTERRINGER  
STEVE SMITH

**From: Terry Cook**

### Worker's Compensation: Summary Information

<b>Date:</b>	3/12/2014
<b>Employee Name:</b>	Darrell Freeman
<b>Date of Hire:</b>	1/22/1991
<b>Injury Date:</b>	2/14/2013
<b>Position Held at Time of Injury:</b>	Animal Control Officer
<b>Type of Injury:</b>	<b>Lower Back</b>
<b>Amount of Order:</b>	\$ 24,255.00
<b>Type of Payment:</b>	Mediation Agreement- Court Ordered
<b>Recommendation:</b>	<b>I recommend we accept this offer because the employee agreed to this settlement in the form of a Court Agreed Mediation Settlement. This will close the case for good on his injuries and all others known or unknown with no possibility of future medical.</b>
<b>Respondent Payments:</b>	\$ 140.00 Filing Fee \$ 181.69 Safety Fund Tax (.75%) \$ 484.50 Workers' Compensation Administration Fund Fee (2%)



**Regular Board of Commissioners**

**2. e.**

**Meeting Date:** 03/17/2014

Workers Comp Davis

Submitted By: Donna Mayo, Administration

Department: Administration

---

Information

Title of Item for Agenda

Workers Comp Settlement – Loyd Davis

---

Attachments

Workers Comp Davis

**Mayor**  
WES MAINORD



## The City of Shawnee

PO Box 1448  
Shawnee Oklahoma 74802-1448  
(405) 273-1250 Fax (405) 878-  
1581

[www.ShawneeOK.org](http://www.ShawneeOK.org)

## Commissioners

PAM STEPHENS  
LINDA AGEE  
JAMES HARROD  
KEITH HALL  
JOHN WINTERRINGER  
STEVE SMITH

**From: Terry Cook**

### Worker's Compensation: Summary Information

<b>Date:</b>	3/12/2014
<b>Employee Name:</b>	Loyd Davis
<b>Date of Hire:</b>	8/30/20004
<b>Injury Date:</b>	4/06/2013
<b>Position Held at Time of Injury:</b>	Maintenance I
<b>Type of Injury:</b>	<b>Left Shoulder</b>
<b>Amount of Order:</b>	\$ 16,150.00
<b>Type of Payment:</b>	Mediation Agreement- Court Ordered
<b>Recommendation:</b>	<b>I recommend we accept this offer because the employee agreed to this settlement in the form of a Court Agreed Mediation Settlement. This will close the case for good on his injuries and all others known or unknown with no possibility of future medical.</b>
<b>Respondent Payments:</b>	\$ 140.00 Filing Fee \$ 121.13 Safety Fund Tax (.75%) \$ 323.00 Workers' Compensation Administration Fund Fee (2%)

**Regular Board of Commissioners**

**2. f.**

**Meeting Date:** 03/17/2014

Resolution of Appreciation

Submitted By: Donna Mayo, Administration

Department: Administration

---

Information

Title of Item for Agenda

Approve Resolution of Appreciation to Rhonda Masquat for over 38 years of service to the City of Shawnee.

---

Attachments

Rhonda Masquat Retirement Resolution

RESOLUTION NO.

A RESOLUTION EXPRESSING APPRECIATION TO RHONDA MASQUAT FOR OVER 38 YEARS OF LOYAL SERVICE TO THE CITY OF SHAWNEE, OKLAHOMA; DIRECTING THAT SAID RESOLUTION BE SPREAD UPON THE OFFICIAL RECORDS OF THE CITY OF SHAWNEE, OKLAHOMA; AND AUTHORIZING A COPY BE PRESENTED TO RHONDA MASQUAT.

WHEREAS, November 10, 1975, was an important day in the City of Shawnee, for the reason that Rhonda Masquat commenced her employment with the City on said date and has served the City and its inhabitants for over 38 years. Rhonda began her employment as part time secretary in Community Development on November 10, 1975. She then served as Secretary for Finance, Secretary for the City Clerk/Treasurer, Deputy City Treasurer, Acting City Treasurer/Finance Director and is currently the Cash Management Administrator.

WHEREAS, Rhonda Masquat has served the City and its inhabitants in a loyal dedicated, unselfish and untiring manner through the years, and has elected to retire; and

WHEREAS, it is both fitting and proper for the City of Shawnee to recognize Rhonda Masquat and her many contributions and loyal service to the City.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE CITY OF SHAWNEE, OKLAHOMA that they hereby express to Rhonda Masquat their appreciation for her many years of loyal, dedicated, unselfish and untiring service to the City and its inhabitants.

BE IT FURTHER RESOLVED that this resolution be spread upon the official records of the City of Shawnee, Oklahoma and that a copy hereof be presented to Rhonda Masquat with the hope that she shall enjoy much good health, happiness and good fortune in the years ahead.

PASSED AND APPROVED THIS 17<sup>TH</sup> DAY OF MARCH 2014.

---

WES MAINORD, MAYOR

ATTEST:

---

PHYLLIS LOFTIS, CMC, CITY CLERK

**Regular Board of Commissioners**

2. g.

**Meeting Date:** 03/17/2014

Mayor Appointment

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Mayor's Appointment

Traffic Commission

Paul Roberts 1st term Expires 1/01/2017

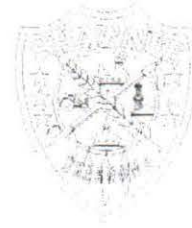
*Replaces Deena Harris – termed out*

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Attachments

Traffic Commission Application

# CITY OF SHAWNEE



## APPLICATION TO SERVE

### *Boards, Committees, and Commissions*

Name: <u>Paul W. Roberts</u>	Application Date: <u>3/5/2014</u>
Address: <u>1306 Castle Creek St., Shawnee OK 74804</u>	
Mailing Address: <u>1306 Castle Creek St., Shawnee OK 74804</u>	
Daytime Phone: <u>405-585-4526</u>	Fax: <u>405-585-4515</u> Email: <u>paul.roberts@okbu.edu</u>
Profession: <u>Dean of Library Services</u>	
Business Name: <u>Oklahoma Baptist University</u>	
Business Address: <u>500 W. University, Shawnee OK 74804</u>	
Business Phone: _____	Fax: _____ Email: _____

Do you live within the City Limits of the City of Shawnee? Yes or No (please circle)

Do you currently serve on a City board or committee? Yes or No (please circle)

How many years have you lived in Shawnee? 1.5

Select the Board/Committee/Commission you are interested in serving on: (please check)

<input type="radio"/> Airport Advisory Board	<input type="radio"/> Library Board
<input type="radio"/> Beautification Committee	<input type="radio"/> Oklahoma Baptist University Trust Authority
<input type="radio"/> Board of Adjustment (Zoning)	<input type="radio"/> Planning Commission
<input type="radio"/> Cable TV Advisory Committee	<input type="radio"/> Regional Park Oversight Committee
<input type="radio"/> Civic and Cultural Development Authority	<input type="radio"/> Shawnee Hospital Authority
<input type="radio"/> Community Service Contracts Review Committee	<input type="radio"/> Shawnee Urban Renewal Authority
<input type="radio"/> Economic Development Foundation, Inc. Board of Trustees	<input type="radio"/> Tourism Advisory Committee
<input type="radio"/> Housing Authority	<input checked="" type="checkbox"/> Traffic Commission
	<input type="radio"/> Building Code Board of Appeals
	<input type="radio"/> Other: _____

### Why are you interested in serving on the Board/Committee/Commission selected above?

Mayor Mainord brought the opportunity to my attention and invited me to apply in light of (1) my desire to become more involved in my city, (2) my affiliation with OBU, whose growth suggests a helpful voice on this traffic commission, and (3) my desire to emulate for my children a model of civic involvement and responsibility.

### What will make you a good board member and what skills or knowledge do you have that would be relevant to this board/committee/commission?

I believe I bring a measure of administrative efficiency. I have recently been appointed Assistant to the President for Strategic Initiatives at OBU in large part because of my penchant for an organized approach to helping set institutional priorities.

---

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**What civic or volunteer activities (if any) are you currently involved in?**

Currently, none.

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**List education, including degree(s) earned:**

PhD (candidate, ABD), Master of Science in Library Science (MSLS), Master of Theology (ThM), Bachelor of Arts (BA).

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**Have you ever served on a City-appointed board/committee/commission before? If so, which ones and for how long did you serve?**

No.

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**Please include up to three personal or professional references:**

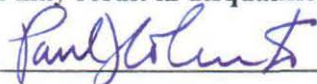
Name	Relationship	Phone Number
Justin Wood (Representative, OK District 26)	Friend	405-557-7345
David Whitlock (President, Oklahoma Baptist Univ.)	Employer	405-585-5801
Tom Terry (Member, Shawnee Beautification Comm.)	Friend and Colleague	405-273-7882

**PLEASE READ CAREFULLY:**

**Appointment by the Commission is for one term and individuals may not serve more than two consecutive full terms. Appointment to a second term remains at the discretion of the City Commission.**

**My signature affirms that all information contained herein is true to the best of my knowledge, and that I understand that any misstatement of fact or misrepresentation of credentials may result in disqualification from further consideration.**

Signature



Date

3/5/2014

Applications are retained on file for one (1) year. Applicants are encouraged to include a letter of interest with this application. Thank you for your interest in serving Shawnee.

**Send application form to:**

Shawnee City Clerk  
PO Box 1448  
Shawnee, OK 74802  
878-1605 (phone)  
878-1581 (fax)  
dmayo@ShawneeOK.org

**Regular Board of Commissioners**

**5.**

**Meeting Date:** 03/17/2014

Certificates of Appreciation

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Mayor's Presentation of Certificates of Appreciation for Tornado Response.

---



**Regular Board of Commissioners**

**6.**

**Meeting Date:** 03/17/2014

Rhonda Masquat Presentation

Submitted By: Donna Mayo, Administration

Department: Administration

---

Information

Title of Item for Agenda

Presentation of Resolution of Appreciation to Rhonda Masquat for over 38 years of service to the City of Shawnee.

---

Attachments

Retirement Resolution - Rhonda Masquat

RESOLUTION NO.

A RESOLUTION EXPRESSING APPRECIATION TO RHONDA MASQUAT FOR OVER 38 YEARS OF LOYAL SERVICE TO THE CITY OF SHAWNEE, OKLAHOMA; DIRECTING THAT SAID RESOLUTION BE SPREAD UPON THE OFFICIAL RECORDS OF THE CITY OF SHAWNEE, OKLAHOMA; AND AUTHORIZING A COPY BE PRESENTED TO RHONDA MASQUAT.

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WHEREAS, Rhonda Masquat has served the City and its inhabitants in a loyal dedicated, unselfish and untiring manner through the years, and has elected to retire; and

WHEREAS, it is both fitting and proper for the City of Shawnee to recognize Rhonda Masquat and her many contributions and loyal service to the City.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE CITY OF SHAWNEE, OKLAHOMA that they hereby express to Rhonda Masquat their appreciation for her many years of loyal, dedicated, unselfish and untiring service to the City and its inhabitants.

BE IT FURTHER RESOLVED that this resolution be spread upon the official records of the City of Shawnee, Oklahoma and that a copy hereof be presented to Rhonda Masquat with the hope that she shall enjoy much good health, happiness and good fortune in the years ahead.

PASSED AND APPROVED THIS 17<sup>TH</sup> DAY OF MARCH 2014.

---

WES MAINORD, MAYOR

ATTEST:

---

PHYLLIS LOFTIS, CMC, CITY CLERK

**Regular Board of Commissioners**

7.

**Meeting Date:** 03/17/2014

Employee of the Month

Submitted By: Donna Mayo, Administration

Department: Administration

---

Information

Title of Item for Agenda

City Manager's presentation of Employee of the Month to Julie Daniels, Police Department Dispatch.

---

**Regular Board of Commissioners**

8.

**Meeting Date:** 03/17/2014

Refusal of Deeds

Submitted By: Donna Mayo, Administration

Department: Administration

---

Information

Title of Item for Agenda

Discuss and consider refusal of Quit Claim Deeds on properties located at 1207 East 9th Street and 702 West Main Street deeded to the City of Shawnee by an individual.

---

Attachments

Deeds 702 W Main and 1207 E 9th



**City of Shawnee**  
16 W. 9<sup>th</sup> Street  
Shawnee, OK 74801  
(405) 878-1665 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

## MEMORANDUM

**AGENDA:** March 17, 2014  
**TO:** Mayor and City Commissioners  
**FROM:** Justin Erickson, Planning Director  
**RE:** **Rejection of Property Donation/Deeded Land**

---

### Nature of the Request

Charles Wilson purchased two properties from Pottawatomie County. Upon learning that the City had large liens on each site for demolition and other expenses, Mr. Wilson without knowledge or acceptance by the City, deeded the property to the City.

### Staff Analysis, Considerations

The subject properties are indicated in the following table:

Address	Legal Description	Lien Amount	Deed In Dispute
702 W. Main	Kickapoo Block 1 Lots 9-10	\$924 (L10-819) \$3,275 (L11-416) <u>\$130 (L12-380)</u> Total: \$4,329	Instrument #201400001657
1207 E. 9 <sup>th</sup>	Whittaker Block 22 Lots 5-6	\$4,618 (L11-0817)	Instrument #201400001656

The City has no need for the land and hopefully another buyer can be found that will utilize the property in a productive manner. Staff has contacted Pottawatomie County and hopes to avoid such situations in the future, where it is clear that the City has not accepted deeded property.

### Recommendation

Staff recommends *rejection* of the property noted above from Charles Wilson to the City of Shawnee.

### Budget Considerations

The City will incur additional expenses mowing and maintaining the properties if Mr. Wilson does not maintain the properties.

RECEIVED

FEB 18 2014

QUIT CLAIM DEEDS CLERK  
INDIVIDUAL FORM

201400001657  
Filed for Record in  
POTTAWATOMIE OKLAHOMA  
RAESHEL FLEWALLEN, COUNTY CLERK  
02-11-2014 At 04:07 pm.  
QCD 13.00

Instrument PG 1 OF 1  
201400001657

THIS INSTRUMENT, Made this 30 day of JAN

between Charles Wilson

\_\_\_\_\_ of the first part,

and City of Shawnee, Okla City Clerk's office

P.O. Box 1448 Shawnee, Ok 74201-1448 of the second part,

Witnesseth, that said part \_\_\_\_\_ of the first part, in consideration of the sum of \_\_\_\_\_ DOLLARS

to \_\_\_\_\_ in hand paid, the receipt of which is hereby acknowledged, do \_\_\_\_\_ hereby quitclaim, grant, bargain, sell and convey unto the said part \_\_\_\_\_ of the second part all \_\_\_\_\_ right, title, interest, estate, and every claim and demand, both at law and in equity, in and to all the following described property situate in

Pott County, State of Oklahoma, to-wit:

Kickapoo Blk 1 Lot 9H0  
Shawnee

L-10-319 924.00  
L-11-416 3,275.00  
L-12-330 130.00



(702 W. Main St)

together with all and singular the hereditaments and appurtenances thereunto belonging.

To Have and to Hold the above described premises unto the said \_\_\_\_\_

\_\_\_\_\_ heirs and assigns forever, so that neither \_\_\_\_\_, the said \_\_\_\_\_

nor any person in \_\_\_\_\_ name and behalf, shall or will hereafter claim or demand any right or title to the said premises or any part thereof but they and everyone of them shall by these presents be excluded and forever barred.

In Witness Whereof, the said part \_\_\_\_\_ of the first part has hereunto set \_\_\_\_\_ hand \_\_\_\_\_ the day and year first above written.

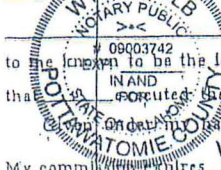
24739 Shady Lane  
Tecumseh, Ok 74873

Charles Wilson

FORM 780-AF (Order by Number)  
Manly Legal Forms, Inc., Printers-Okla. City

STATE OF OKLAHOMA )  
COUNTY OF Pottawatomie ) SS: INDIVIDUAL ACKNOWLEDGMENT  
Oklahoma Form

Before me, the undersigned, a Notary Public in and for said County and State on this 11th day of Feb, 2014, personally appeared Charles Dale Wilson



to the intent to be the identical person who executed the within and foregoing instrument and acknowledged to me that he executed the same as \_\_\_\_\_ free and voluntary act and deed for the uses and purposes therein set forth.

My commission expires 4-29-17 Wynndi Kolb Notary Public.

RECEIVED

FEB 18 2014

QUIT CLAIM DEED BY CLERK  
INDIVIDUAL FORM

201400001656  
Filed for Record in  
POTTAWATOMIE OKLAHOMA  
RAESHEL FLEWALLEN, COUNTY CLERK  
02-11-2014 At 04:09 PM.  
OCD 13.00

THIS INSTRUMENT, Made this 30 day of JAN

between Charles Wilson

of the first part,

and City of Shawnee, Okla. City Clerk's Office

P.O. Box 1448 Shawnee, OK 74201-1448 of the second part,

Witnesseth, that said part \_\_\_\_\_ of the first part, in consideration of the sum of

\_\_\_\_\_ DOLLARS

Instrument PG 1 OF 1  
201400001656

to \_\_\_\_\_ in hand paid, the receipt of which is hereby acknowledged, do \_\_\_\_\_ hereby quitclaim, grant, bargain,

sell and convey unto the said part \_\_\_\_\_ of the second part all \_\_\_\_\_ right, title, interest, estate, and every

claim and demand, both at law and in equity, in and to all the following described property situate in  
Pottaw County, State of Oklahoma, to-wit:

Lots on S#6 Block 22 Whittaker Addition  
To the City of Shawnee Oklahoma 74201.



AKA 1207 E. 9th, Shawnee, OK, 74201

together with all and singular the hereditaments and appurtenances thereunto belonging.

To Have and to Hold the above described premises unto the said \_\_\_\_\_

\_\_\_\_\_ heirs and assigns forever, so that neither \_\_\_\_\_, the said \_\_\_\_\_

nor any person in \_\_\_\_\_ name and behalf, shall or will hereafter claim or demand any right or title to the said premises or any part thereof; but they and everyone of them shall by these presents be excluded and forever barred.

In Witness Whereof, the said part \_\_\_\_\_ of the first part has hereunto set \_\_\_\_\_ hand \_\_\_\_\_ this day and year first above written.

24739 Shady Lane  
Tucumseh, OK 74973

Charles Wilson

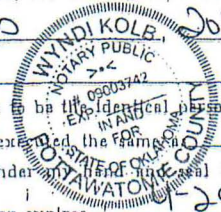
FORM 130-AF (Order by Number)  
Manly Legal Forms, Inc. - Printers - Okla. City

STATE OF OKLAHOMA }  
COUNTY OF Pottawatomie } SS:

INDIVIDUAL ACKNOWLEDGMENT  
Oklahoma Form

Before me, the undersigned, a Notary Public in and for said County and State on this 11th day of

Feb 2014, personally appeared Charles Dale Wilson



to me known to be the identical person who executed the within and foregoing instrument and acknowledged to me that \_\_\_\_\_ executed the foregoing \_\_\_\_\_ free and voluntary act and deed for the uses and purposes therein set forth.

Given under my hand and seal of said County and State on the day and year last above written.

My commission expires \_\_\_\_\_

Wynndi Koble

Notary Public.

L-11-0817



The City of Shawnee  
PO Box 1448  
Shawnee Oklahoma 74802-1448  
(405) 878-1602 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

201100015631  
Filed for Record in  
POTTAWATOMIE OKLAHOMA  
NANCY BRYCE, COUNTY CLERK  
10-20-2011 At 10:23 am.  
LIEN 15.00

CITY CLERK  
OFFICE

ELENA MESNER  
530 N AYDELOTTE  
SHAWNEE OK 74801-6002

**NOTICE OF LIEN CLAIMED BY THE CITY OF SHAWNEE, OKLAHOMA**

Comes now the City of Shawnee, Oklahoma, and its City Clerk, hereby files a Notice of Lien claimed by the City of Shawnee, Oklahoma against the following owner(s) as listed above.

And hereby gives Notice that the legal owner of record was contacted by certified letter that this property(ies) had become detrimental to the health, benefit and welfare of the public and the community, a hazard to traffic, or created a fire hazard to the danger of property due to the accumulation of trash or the growth of weeds or grass, as defined by ordinance of said City; said real property which is situated within the corporate limits of the City of Shawnee, Pottawatomie County, Oklahoma is described as follows:

Address: 1207 E 9TH ST, SHAWNEE OKLAHOMA  
Legal Description: WHITTAKER BLOCK 22 LOTS 5 & 6  
IN THE CITY OF SHAWNEE, POTTAWATOMIE COUNTY, OKLAHOMA.

Said City and its Clerk do further give Notice that said City has and claims a lien against said property for the amount shown below as the actual costs found by said City for clearing of said problem(s) on the site hereof. The legal owner of the property was provided sufficient time for completion of said work and has failed to remove said problem(s). Such costs of said work shall be paid by the owners of and the holders of mortgage or other liens against said property or such costs shall be levied on the property and collected by the County Treasurer as are other taxes authorized by law and shall be and continue a lien against said property until paid.

**LIEN AMOUNT: \$4,618.00**



THE CITY OF SHAWNEE, OKLAHOMA  
A MUNICIPAL CORPORATION

BY: Donna Mayo  
DONNA MAYO  
DEPUTY CITY CLERK

State of Oklahoma )  
County of Pottawatomie ) ss:

The foregoing instrument was acknowledged before me Thursday, October 20, 2011, by Donna Mayo, Deputy City Clerk of the City of Shawnee, Oklahoma.

Lisa B. Lasyone  
NOTARY PUBLIC

My Commission Expires: 01/31/2013  
Notary # 05001067





L-11-416

The City of Shawnee  
PO Box 1448  
Shawnee Oklahoma 74802-1448  
(405) 878-1602 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

CITY CLERK  
OFFICE

201100008523  
Filed for Record in  
POTTAWATOMIE OKLAHOMA  
NANCY BRYCE, COUNTY CLERK  
06-03-2011 At 09:09 am.  
LIEN 15.00

CARRIE (GREEN) MCDONALD  
702 W MAIN  
SHAWNEE OK 74801

**NOTICE OF LIEN CLAIMED BY THE CITY OF SHAWNEE, OKLAHOMA**

Comes now the City of Shawnee, Oklahoma, and its City Clerk, hereby files a Notice of Lien claimed by the City of Shawnee, Oklahoma against the following owner(s) as listed above.

And hereby gives Notice that the legal owner of record was contacted by certified letter that this property(ies) had become detrimental to the health, benefit and welfare of the public and the community, a hazard to traffic, or created a fire hazard to the danger of property due to the accumulation of trash or the growth of weeds or grass, as defined by ordinance of said City; said real property which is situated within the corporate limits of the City of Shawnee, Pottawatomie County, Oklahoma is described as follows:

Address: 702 W MAIN ST, SHAWNEE OKLAHOMA  
Legal Description: KICKAPOO BLOCK 1 LOT 9 & 10  
IN THE CITY OF SHAWNEE, POTTAWATOMIE COUNTY, OKLAHOMA.

Said City and its Clerk do further give Notice that said City has and claims a lien against said property for the amount shown below as the actual costs found by said City for clearing of said problem(s) on the site hereof. The legal owner of the property was provided sufficient time for completion of said work and has failed to remove said problem(s). Such costs of said work shall be paid by the owners of and the holders of mortgage or other liens against said property or such costs shall be levied on the property and collected by the County Treasurer as are other taxes authorized by law and shall be and continue a lien against said property until paid.

**LIEN AMOUNT: \$3,275.00**



THE CITY OF SHAWNEE, OKLAHOMA  
A MUNICIPAL CORPORATION

BY: Donna Mayo  
DONNA MAYO  
DEPUTY CITY CLERK

State of Oklahoma )  
                                  )     ss:  
County of Pottawatomie )

The foregoing instrument was acknowledged before me Friday, June 3, 2011, by Donna Mayo, Deputy City Clerk of the City of Shawnee, Oklahoma.

Lisa B. Layone  
NOTARY PUBLIC

My Commission Expires: 01/31/2013  
Notary # 05001067





The City of Shawnee  
 PO Box 1448  
 Shawnee Oklahoma 74802-1448  
 (405) 878-1602 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

CITY CLERK  
 OFFICE

201200007852  
 Filed for Record in  
 POTTAWATOMIE OKLAHOMA  
 NANCY BRYCE, COUNTY CLERK  
 06-08-2012 At 11:01 am.  
 LIEN 15.00

CARRIE MCDONALD (GREEN)  
 702 W MAIN  
 SHAWNEE OK 74801

L-12-380

**NOTICE OF LIEN CLAIMED BY THE CITY OF SHAWNEE, OKLAHOMA**

Comes now the City of Shawnee, Oklahoma, and its City Clerk, hereby files a Notice of Lien claimed by the City of Shawnee, Oklahoma against the following owner(s) as listed above.

And hereby gives Notice that the legal owner of record was contacted by certified letter that this property(ies) had become detrimental to the health, benefit and welfare of the public and the community, a hazard to traffic, or created a fire hazard to the danger of property due to the accumulation of trash or the growth of weeds or grass, as defined by ordinance of said City; said real property which is situated within the corporate limits of the City of Shawnee, Pottawatomie County, Oklahoma is described as follows:

Address: 702 W MAIN ST, SHAWNEE OKLAHOMA  
 Legal Description: KICKAPOO BLOCK I LOTT 9 & 10  
IN THE CITY OF SHAWNEE, POTTAWATOMIE COUNTY, OKLAHOMA.

Said City and its Clerk do further give Notice that said City has and claims a lien against said property for the amount shown below as the actual costs found by said City for clearing of said problem(s) on the site hereof. The legal owner of the property was provided sufficient time for completion of said work and has failed to remove said problem(s). Such costs of said work shall be paid by the owners of and the holders of mortgage or other liens against said property or such costs shall be levied on the property and collected by the County Treasurer as are other taxes authorized by law and shall be and continue a lien against said property until paid.

**LIEN AMOUNT: \$130.00**



THE CITY OF SHAWNEE, OKLAHOMA  
 A MUNICIPAL CORPORATION

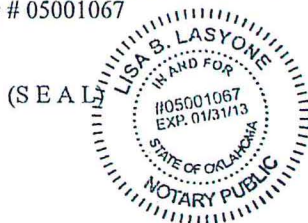
BY: Phyllis Loftis  
 PHYLLIS LOFTIS  
 CITY CLERK

State of Oklahoma )  
 )  
 County of Pottawatomie ) ss:

The foregoing instrument was acknowledged before me Friday, June 08, 2012, by Phyllis Loftis, City Clerk of the City of Shawnee, Oklahoma.

Lisa S. Lasyone  
 NOTARY PUBLIC

My Commission Expires: 01/31/2013  
 Notary # 05001067



The City of Shawnee  
PO Box 1448  
Shawnee Oklahoma 74802-1448  
(405) 878-1602 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

CITY CLERK  
OFFICE



CARRIE MCDONALD  
702 W MAIN

SHAWNEE OK 74801

210-819

NOTICE /OF LIEN CLAIMED BY THE CITY OF SHAWNEE, OKLAHOMA

Comes now the City of Shawnee, Oklahoma, and its City Clerk, hereby files a Notice of Lien claimed by the City of Shawnee, Oklahoma against the following owner(s) as listed above.

And hereby gives Notice that the legal owner of record was contacted by certified letter that this property(ies) had become detrimental to the health, benefit and welfare of the public and the community, a hazard to traffic, or created a fire hazard to the danger of property due to the accumulation of trash or the growth of weeds or grass, as defined by ordinance of said City; said real property which is situated within the corporate limits of the City of Shawnee, Pottawatomie County, Oklahoma is described as follows:

Address: 702 W MAIN ST, SHAWNEE OKLAHOMA  
Legal Description: KICKAPOO BLOCK 1 LOT 9 & 10  
IN THE CITY OF SHAWNEE, POTTAWATOMIE COUNTY, OKLAHOMA.

Said City and its Clerk do further give Notice that said City has and claims a lien against said property for the amount shown below as the actual costs found by said City for clearing of said problem(s) on the site hereof. The legal owner of the property was provided sufficient time for completion of said work and has failed to remove said problem(s). Such costs of said work shall be paid by the owners of and the holders of mortgage or other liens against said property or such costs shall be levied on the property and collected by the County Treasurer as are other taxes authorized by law and shall be and continue a lien against said property until paid.

LIEN AMOUNT \$924.00

THE CITY OF SHAWNEE, OKLAHOMA  
A MUNICIPAL CORPORATION



BY: Donna Mayo  
DONNA MAYO  
DEPUTY CITY CLERK

State of Oklahoma )  
                                  )  
County of Pottawatomie )      ss:

The foregoing instrument was acknowledged before me Wednesday, September 22, 2010, by Donna Mayo, Deputy City Clerk of the City of Shawnee, Oklahoma.

Teresa Oldham  
NOTARY PUBLIC

My Commission Expires: 8-23-13



**Regular Board of Commissioners**

**9.**

**Meeting Date:** 03/17/2014

Rezone 3720 N Bryan

Submitted By: Donna Mayo, Administration

Department: Administration

---

Information

Title of Item for Agenda

Public hearing and consideration of an ordinance to rezone property located at 3720 N. Bryan from R-1; Single Family Residential to R-E; Residential Estates District. Case #P05-14 Applicant: Janice Percell

---

Attachments

Rezone 3720 N Bryan

Ordinance P05-14

RECOMMENDATION TO:

MAYOR  
BOARD OF CITY COMMISSIONERS  
CITY OF SHAWNEE

RECOMMENDATION FROM:

CITY OF SHAWNEE  
PLANNING COMMISSION

SUBJECT:

APPLICANT: Janice Percell  
FOR: Rezone  
LOCATION: 3720 N Bryan, Shawnee, OK  
PROJECT#: N/A Case# P05-14

LEGAL DESCRIPTION:

SEE OWNERSHIP LIST

CURRENT CLASSIFICATION: R-1; Single Family  
REQUESTED CLASSIFICATION: R-E; Residential Estates District  
PROPOSED PROPERTY USE: Residential

PLANNING COMMISSION MEETING DATE: 03-05- 2014

PLANNING COMMISSION RECOMMENDATION: Approval

VOTE OF THE PLANNING COMMISSION:

**MEMBERS PRESENT:** 6

MEMBERS:	1ST	2ND	AYE	NAY	ABSTAIN	COMMENTS
BERGSTEN		x	x			
CARTER			x			
HOSTER			x			
TURNER (CHAIRMAN)			x			
SILVIA (VICE-CHAIRMAN)			x			
COWEN	x		x			
SALTER						Absent

RESPECTFULLY SUBMITTED,  
Cheyenne Lincoln  
SECRETARY, PLANNING COMMISSION

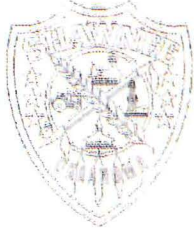
ACTION BY CITY COMMISSION:

PUBLIC HEARING SET: \_\_\_\_\_

DATE OF ACTION: \_\_\_\_\_

ADOPTED \_\_\_\_\_ DENIED \_\_\_\_\_

ORDINANCE NO. \_\_\_\_\_



**City of Shawnee**  
**Community Development Department**  
222 N. Broadway  
Shawnee, OK 74801  
(405) 878-1665 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

**MEMORANDUM**

**DATE:** March 5, 2014  
**TO:** Shawnee Planning Commission  
**FROM:** Justin DeBruin, Assistant City Planner  
**RE:** **Case P05-14: Rezone request: R-1 to RE**

---

The applicant, Janice Percell, is requesting a rezone from R-1 (Single Family Residential) to RE (Residential Estates). This same property was recently approved for a rezone from A-1 (Agricultural) to R-1 (Single Family Residential) on the January 8, 2014 agenda. Upon further review, an RE designation would be more appropriate for the addition of a residential property on a lot greater than one (1) acre.

The subject property is located north of MacArthur Street on Bryan Street. The applicant currently has one residential structure on the property, so there would be a need to perform a lot split to build an additional home.

Such a rezone to RE from R-1 would remain consistent with the Shawnee Comprehensive Plan, as this area and the surrounding areas have been designated for Residential use.

Though both zoning designations are acceptable, the following is a brief comparison:

<b>COMPARING ZONING DISTRICTS</b>	
<u>R-1</u>	<u>R-E</u>
Ability to subdivide property into smaller lots in the future.	Lots no less than one (1) acre.
Required to provide sidewalks on collector streets.	Not required to provide sidewalks on collector streets. (Ord. 2366 NS)
35' minimum street frontage requirement	75' minimum street frontage requirement
25' minimum front yard setback	40' minimum front yard setback

Staff recommends **approval** of the proposed rezone from ***R-1: Single Family Residential*** to ***RE: Residential Estates***.

CITY OF SHAWNEE  
PUBLIC HEARING NOTICE  
CASE #P05-14

Notice is hereby given that the City of Shawnee, Oklahoma, will conduct a public hearing on a proposed Rezone of property located within the City of Shawnee.

The property requesting rezoning is described as follows:

A tract of land described as beginning at a point 12.0 feet South of the Northeast Corner of the Southeast Quarter (SE/4) of Section Five (5), Township Ten (10) North, Range Four (4) East of the Indian Meridian, Pottawatomie County, Oklahoma; thence South 392.03 feet; thence West 666.68 feet; thence North 392.03 feet; thence East 666.68 feet to the point of beginning.

General Location Known As:	<u>3720 N. Bryan</u>
Current Zoning Classification:	<u>R-1; Single Family</u>
Requested Zoning Classification:	<u>R-E; Residential Estates District</u>
Proposed Use of Property:	<u>Residential</u>
Applicant:	<u>Janice Percell</u>

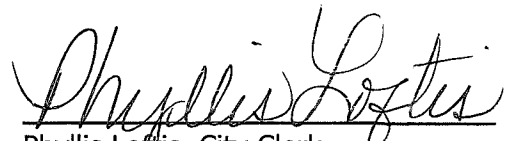
The "Zoning Map of the City of Shawnee, Oklahoma" will be amended accordingly to reflect such change if approved by the City Commission.

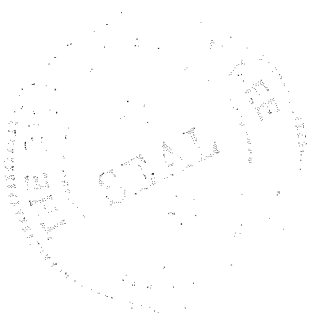
The public hearings will be held in the City Commission Chambers in City Hall, 16 W. 9<sup>th</sup> St. Shawnee, Oklahoma, as follows:

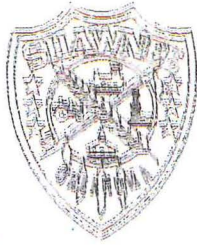
Date March 5 <sup>th</sup> , 2014	AT 1:30 P.M.:	CITY OF SHAWNEE PLANNING COMMISSION
Date March 17 <sup>th</sup> , 2014	AT 6:30 P.M.:	CITY OF SHAWNEE CITY COMMISSION

At this time any interested citizen of Shawnee, Oklahoma will have the opportunity to appear and be heard with regard to the rezone. The Commission reserves the right to limit discussion and debate on the proposed rezone in the public hearing, in which event those persons appearing in support or opposition of the proposed rezone will be allotted equal time. Any formal protest must be filed in writing with the City Clerk during normal working hours before 5:00 p.m. a minimum of three (3) days prior to the hearing. If there are any questions about the proposal, or you need additional information prior to the public hearing, please contact the Planning Department at 878-1616. A copy of the application is available for public inspection during normal working hours in the Planning Secretary's office at 222 N. Broadway.

Witness my hand this 12<sup>th</sup> day of February, 2014.

  
Phyllis Loftis, City Clerk





**City of Shawnee**  
**Community Development Department**  
222 N. Broadway  
Shawnee, OK 74801  
(405) 878-1665 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

ORIGINAL

**STAFF REPORT**  
**REZONE**  
**CASE #P01-14**

TO: Shawnee Planning Commission  
AGENDA: January 8, 2014  
RE: Case #P01-14; Rezone Request, A-1 to R-1

**PROPOSAL**

The applicant is requesting to rezone the subject site of six (6) acres to facilitate the construction of a residential home. The property is located north of MacArthur Street on Bryan Street. The property is currently zoned A-1 (Agricultural) and the requested zoning classification is R-1 (Single Family Residential). This subject property currently has one residential structure on it. The applicant would like to do a lot split in order to construct an additional residential home along Bryan Street.

**GENERAL INFORMATION**

<b>Applicant</b>	Janice Percell
<b>Owner</b>	Mary V. Hames 2004 Revocable Trust
<b>Site Location/Address</b>	3720 N. Bryan St.
<b>Current Site Zoning</b>	A-1: Agricultural
<b>Proposed Zoning</b>	R-1: Single Family Residential
<b>Property Area</b>	6.00 Acres
<b>Proposed Use</b>	Residential Use
<b>Comprehensive Plan Designation</b>	Residential



<b>Existing Land Use</b>	Residential
<b>Surrounding Land Use</b>	North – Agricultural South – Agricultural West – Agricultural East – Residential / Agricultural
<b>Surrounding Zoning</b>	Varies – please see zoning map. ( <i>Figure 1</i> )

**STAFF REVIEW AND ANALYSIS**

The subject property is of six (6) acres in size and its currently one lot. The applicant is requesting approval for a zone change to facilitate a split of the lot to produce an additional one (1) acre or greater lot, with the intention to construct a residential home on the new lot. As the land is currently zoned Agricultural, rezoning to Residential will be necessary for such a process.

The property is currently served by water utilities, but not a sanitary sewer system. For this reason, the site will use and maintain a septic system in its place that will be in conformance to the requirements of the Oklahoma State Department of Health.

Based on the size and configuration of the proposed lots, all residential regulations and requirements can be met.

Though the subject property is neighbored almost entirely by A-1 (Agricultural) zoned land, the surrounding areas are zoned primarily Residential, making this rezone request consistent with surrounding uses. Also, this rezoning request is consistent with the Shawnee Comprehensive Plan (Figure 4.2 in the Shawnee Comprehensive plan), as this area and the surrounding areas have been designated for Residential use.

Although an RE (Residential Estate) zoning classification is an appropriate alternative, the requirements for lot configuration are less restrictive in R-1 (Single Family Residential), relieving any potential concerns for meeting minimum street frontage standards.

Staff does hereby recommend the proposed zone change as it is consistent with the comprehensive plan and surrounding land uses.

**STAFF RECOMMENDATION**

Staff recommends **approval** of the proposed rezone from *A-1: Agricultural* to *R-1: Single Family Residential* for the subject property.

**Attachments**

1. Figure 1: Zoning map
2. Figure 2: Aerial view of site

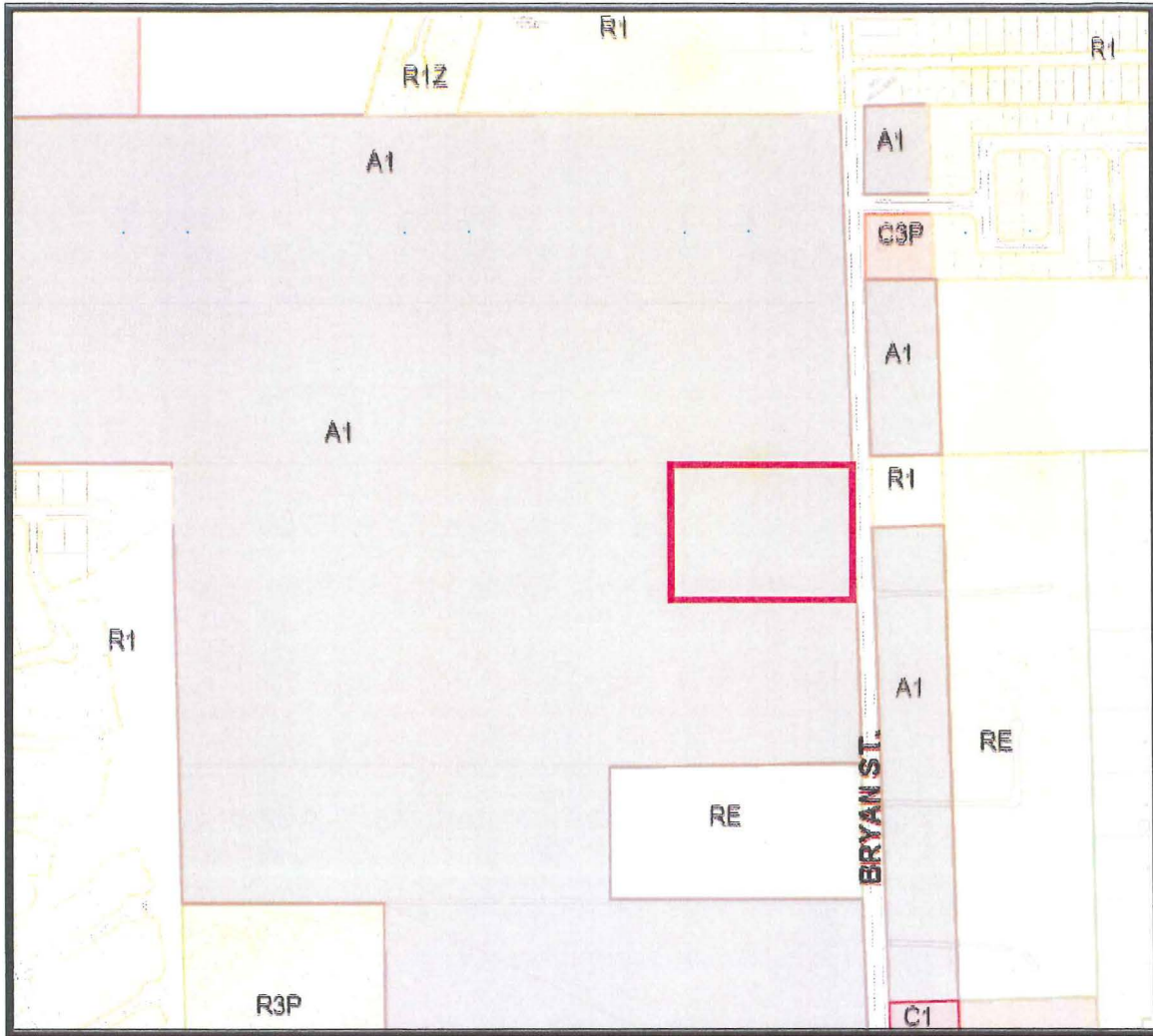


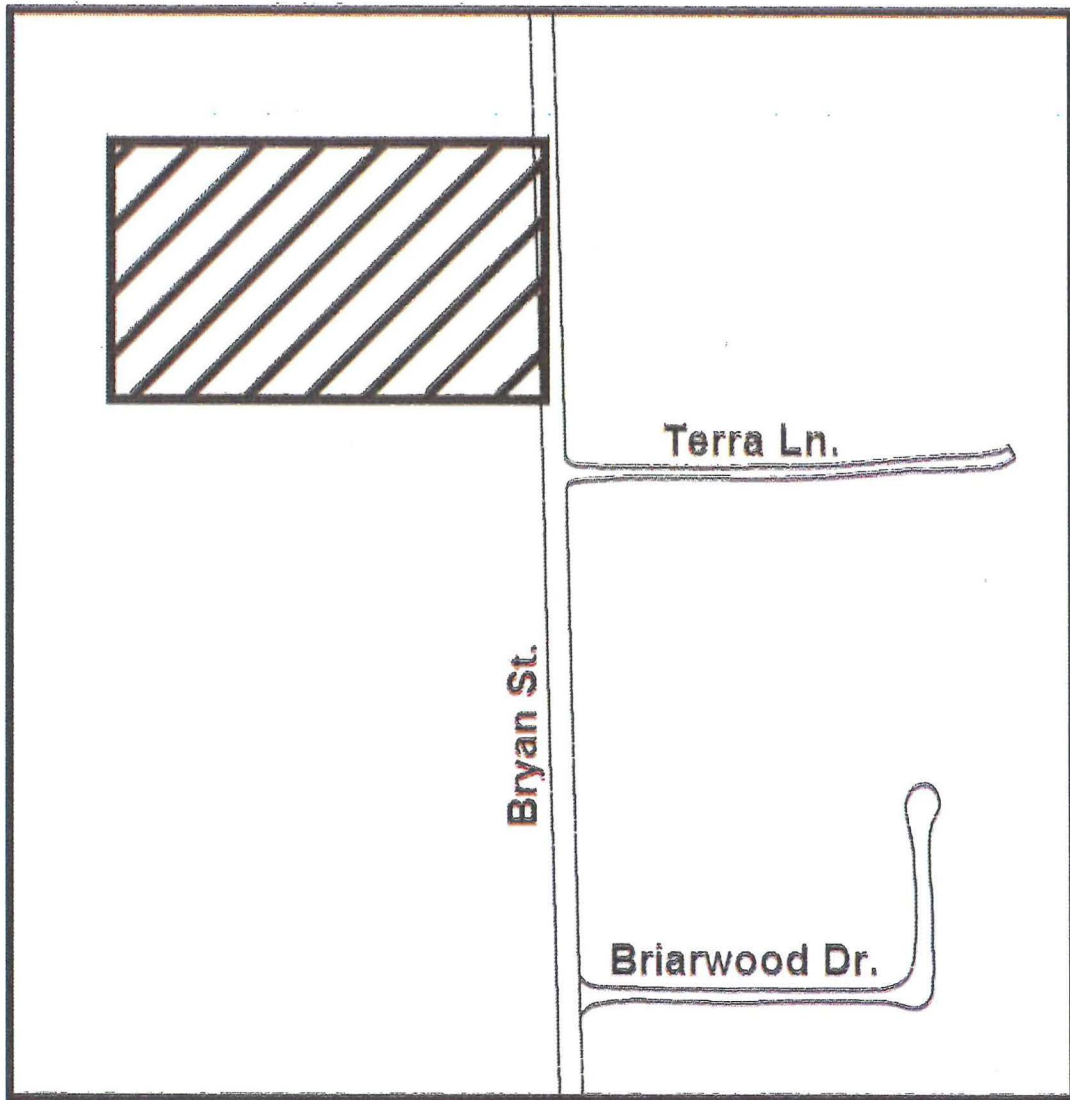
Figure 1: Zoning Map of site – approximate total area outlined in red.



Figure 2: Aerial view of the site – approximate total area outlined in red.

Location Map

Case P05-14



CITY OF SHAWNEE  
222 N. BROADWAY  
SHAWNEE, OK 74801

PLANNING DEPARTMENT  
PHONE: (405) 878-1666  
FAX: (405) 878-1587

**PLANNING COMMISSION APPLICATION**  
**PROJECT NO. 131475 CASE NO. P 01-14**

**REQUEST:**

Rezoning  Rezoning w/Conditional Use Permit \_\_\_\_\_ Conditional Use Permit \_\_\_\_\_  
Planned Unit Development \_\_\_\_\_

I, the undersigned, do hereby respectfully make application and petition to the City Commission to amend the zoning map, and to change the zoning district of the Shawnee area, from \_\_\_\_\_ District to \_\_\_\_\_ District, as hereinafter requested, and in support of this application, the following facts are shown:

**PROPERTY LOCATION (STREET ADDRESS):** 3720 N. Bryan Ave., Shawnee, Ok. 74804

**LEGAL DESCRIPTION:** \_\_\_\_\_

PROPERTY OWNER (S): Mary V. Hames 2004 Revocable Trust

PROPERTY AGENT (APPLICANT): Janice Perzell, Trustee

APPLICANT'S ADDRESS: 3720 N Bryan Ave.

CITY: Shawnee STATE OK ZIP 74804

EMAIL ADDRESS: mperzella-speglobal.net

TELEPHONE NUMBER: (405) 275-2422 CONTACT NUMBER: (405) 640-3931

**DIMENSIONS OF PROPERTY:** AREA 6 Acres WIDTH 392.03'  
LENGTH 666.68' FRONTAGE 392.03'

**CURRENT ZONING:** Agricultural **CURRENT USE:** Residential

**PROPOSED ZONING:** Residential **PROPOSED USE:** Residential

With the filing of this application, I acknowledge that I have been informed of off-street parking, fencing and paving requirements in regard to the zoning I have requested as witnessed by my signature.

Janice Perzell  
**SIGNATURE OF APPLICANT**

(FOR SECRETARY USE ONLY)

Filed in the office of the Planning Department, 222 N. Broadway, this 22<sup>nd</sup> day of, November 20 13

Cherise Lincoln  
**PLANNING COMMISSION SECRETARY**

**REZONING &/OR C.U.P FEE \$** 280.00  
**RECEIPT NO.** 01342095

**PLANNED UNIT DEVELOPMENT FEE \$** 550.00  
**SIGN DEPOSIT \$** 50.00

(Refundable if Applicant returns 48 hrs. after City Commission Meeting)

**PLANNING COMMISSION ACTION:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**CITY COMMISSION ACTION:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**PLACE ON ZONING MAP:** \_\_\_\_\_ **ORDINANCE NO.:** \_\_\_\_\_

STATE OF OKLAHOMA                    )  
  ) SS:  
COUNTY OF POTTAWATOMIE         )

**-: AFFIDAVIT OF BONDED ABTRACTOR :-**

The undersigned Bonded Abstractor in and for the aforesaid County and State does hereby certify that the following Ownership is true and correct according to the current year's tax rolls in the Office of the County Treasurer of Pottawatomie County, Oklahoma, as updated by the records of the Office of the County Clerk of Pottawatomie County, Oklahoma; that the owners, as reflected by said records, are based on the last conveyance or final decree of record of certain properties located within 300 feet in all directions of the following described lands:

A tract of land described as beginning at a point 12.0 feet South of the Northeast Corner of the Southeast Quarter (SE/4) of Section Five (5), Township Ten (10) North, Range Four (4) East of the Indian Meridian, Pottawatomie County, Oklahoma; thence South 392.03 feet; thence West 666.68 feet; thence North 392.03 feet; thence East 666.68 feet to the point of beginning.

and find the following owners, addresses and brief legal descriptions on the attached pages numbered from One (1) to Two (2), both inclusive.

The Abstractor makes no representation or warranty, either expressed or implied, regarding the accuracy of the information contained in this report. The Abstractor does not guarantee the validity of the title of such parties nor is this report intended to guarantee title thereof. The liability of the Abstractor shall be based solely on contract and shall be limited to the price paid for the report by the customer. The parties agree that the Abstractor shall not be liable for consequential damages. Acceptance of the instrument constitutes acceptance of this limitation on liability.

EXECUTED at Shawnee, Oklahoma, this 13<sup>th</sup> day of November, 2013.

FIRST AMERICAN TITLE AND TRUST COMPANY

By *Teresa Southard*  
Teresa Southard, Licensed Abstractor #264

Order No. 1885638-SH99

# Ownership List

Order No. 1885638-SH99

Date November 13, 2013

Page No. 1

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## OWNER

### BRIEF LEGAL:

---

Michael G. Percell and Janice R. Percell – 3720 N. Bryan, Shawnee, OK 74804

Beg. NE/C SE/4 Section 5, Township 10 North, Range 4 East; thence W 1320'; thence S 404.3'; thence E 653.32'; thence N 392.03'; thence E 666.68'; thence N 12' to beg.

---

Mary V. Hames, Trustee of the Mary V. Hames 2004 Revocable Trust – 3720 N. Bryan, Shawnee, OK 74804

Beg. 12' S NE/C SE/4 Section 5, Township 10 North, Range 4 East; thence S 392.03'; thence W 666.68'; thence N 392.03'; thence E 666.68' to beg.

---

Samuel W. Walters and Katherine K. Walters – P.O. Box 1386, Shawnee, OK 74802-1386

Beg. 602'3" S NE/C SE/4 Section 5, Township 10 North, Range 4 East; thence W 1320'; thence S 206'3"; thence E 1320'; thence N 206'3" to beg.

---

Belterre Development Company – 1901 N. Kickapoo, Shawnee, OK 74804

S/2 NE/4 Section 5, Township 10 North, Range 4 East

---

Carlos Doyle Reese and Sonja J. Reese – 3710 N. Bryan, Shawnee, OK 74804

Beg. 554' S NE/C NE/4 SE/4 Section 5, Township 10 North, Range 4 East; thence W 290'; thence N 150'; thence W 1029'; thence S 198'; thence E 1320'; thence N 48' to beg.

---

Carlos D. Reese – 3710 N. Bryan, Shawnee, OK 74804

Beg. 404' S NE/C SE/4 Section 5, Township 10 North, Range 4 East; thence S 150'; thence W 290'; thence N 150'; thence E 290.4' to beg.

---

Dawn Ridge, LLC – 1307 Cielo Vista Dr., Keller, TX 76248

S/2 S/2 NW/4 Section 4, Township 10 North, Range 4 East; LESS Beg. NW/C S/2 S/2 NW/4; thence S 265'; thence E 493.2'; thence N 265'; thence W 493.2' to beg.

---

Billy W. Grider and Christine E. Grider – 3711 N. Bryan, Shawnee, OK 74804

Beg. 253' S NW/C SW/4 Section 4, Township 10 North, Range 4 East; thence E 265.5'; thence S 275'; thence W 265.5'; thence N 275' to beg.

---

Sara J. Skaggs and Brandon G. Skaggs – 3715 N. Bryan, Shawnee, OK 74804

Beg. NW/C SW/4 Section 4, Township 10 North, Range 4 East; thence E 265.5'; thence S 253'; thence W 265.5'; thence N 253' to beg.

---

Jerry G. Williamson and Sheri L. Williamson – 3519 N. Bryan Ave., Shawnee, OK 74804

Beg. 528' S NW/C SW/4 Section 4, Township 10 North, Range 4 East; thence S 350'; thence E 178'; thence N 350'; thence W 178' to beg.

---

Kent R. Bowlan and Deborah A. Bowlan – 1 Terra Lane, Shawnee, OK 74804

Beg. 528' S & 162' E NW/C SW/4 Section 4, Township 10 North, Range 4 East; thence E 170'; thence S 350'; thence W 170'; thence N 350' to beg.

---

Dale Edmonds – 2424 N. Harrison, Shawnee, OK 74804

Beg. NW/C S/2 S/2 NW/4 Section 4, Township 10 North, Range 4 East; thence S 265'; thence E 493.20'; thence N 265'; thence W 493.20' to beg.

## Ownership List

Order No. 1885638-SH99

Date November 13, 2013

Page No. 2

---

OWNER

BRIEF LEGAL:

---

Bryce Holland and Julia Holland – 5 Terra Lane, Shawnee, OK 74804

Beg. 265.5' E NW/C SW/4 Section 4, Township 10 North, Range 4 East; thence S 528';  
thence E 247.5'; thence N 528'; thence W 247.5' to beg.

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ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE CONCERNING THE ZONING CLASSIFICATION OF THE FOLLOWING DESCRIBED PROPERTY LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF SHAWNEE, POTTAWATOMIE COUNTY, OKLAHOMA: A TRACT OF LAND DESCRIBED AS BEGINNING AT A POINT 12.0 FEET SOUTH OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER (SE/4) OF SECTION FIVE (5), TOWNSHIP TEN (10) NORTH, RANGE FOUR (4) EAST OF THE INDIAN MERIDIAN, POTTAWATOMIE COUNTY, OKLAHOMA; THENCE SOUTH 392.03 FEET; THENCE WEST 666.68 FEET; THENCE NORTH 392.03 FEET; THENCE EAST 666.68 FEET TO THE POINT OF BEGINNING; FROM R-1; SINGLE FAMILY RESIDENTIAL TO R-E; RESIDENTIAL ESTATES DISTRICT; AND AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SHAWNEE ACCORDINGLY.

WHEREAS, pursuant to notice duly given as required by law, a public hearing was conducted by the Board of Commissioners of the City of Shawnee, Oklahoma, on the 21<sup>st</sup> day of January, 2014 upon an application to rezone certain property located in the City of Shawnee, Oklahoma from zoning classification R-1; Single Family Residential to R-E; Residential Estates District.

WHEREAS, the Planning Commission of the City of Shawnee has conducted one or more public hearings on said application pursuant to notice as required by law and has submitted its final report and recommendation upon said application to the Board of Commissioners; and,

WHEREAS, it appears to be in the best interest of the City of Shawnee and the inhabitants thereof for said property to be zoned as considered.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COMMISSIONERS OF THE CITY OF SHAWNEE, OKLAHOMA:

SECTION 1: That the following described property located in the City of Shawnee, Oklahoma, to-wit: A tract of land described as beginning at a point 12.0 feet South of the Northeast Corner of the Southeast Quarter (SE/4) of Section Five (5), Township Ten (10) North, Range Four (4) East of the Indian Meridian, Pottawatomie County, Oklahoma; thence South 392.03 feet; thence West 666.68 feet; thence North 392.03 feet; thence East 666.68 feet to the point of beginning, be and the same is hereby rezoned from classification R-1; Single Family Residential to R-E; Residential Estates District and the official zoning map heretofore adopted is hereby amended so as to include said property as R-E; Residential Estates District.

PASSED AND APPROVED this 17<sup>th</sup> day of March, 2014.

\_\_\_\_\_  
WES MAINORD, MAYOR

(SEAL)

ATTEST:

\_\_\_\_\_  
PHYLLIS LOFTIS, CMC, CITY CLERK

**Regular Board of Commissioners**

**10.**

**Meeting Date:** 03/17/2014

Rezone 8 and 12 E MacArthur

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Public hearing and consideration of an ordinance to rezone property located at 8 and 12 East MacArthur from C-1; Neighborhood Commercial to C-3; Automotive, Commercial and Recreational District. Case #P03-14 Applicant: James T. Kerr

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Attachments

Rezone 8 and 12 E MacArthur

Ordinance P03-14

RECOMMENDATION TO:

MAYOR  
BOARD OF CITY COMMISSIONERS  
CITY OF SHAWNEE

RECOMMENDATION FROM:

CITY OF SHAWNEE  
PLANNING COMMISSION

SUBJECT:

APPLICANT: James T. Kerr  
FOR: Rezone  
LOCATION: 8 & 12 E. MacArthur, Shawnee, OK  
PROJECT#: 140137 Case# P03-14

LEGAL DESCRIPTION:

SEE OWNERSHIP LIST

CURRENT CLASSIFICATION: C-1; Neighborhood Commercial District  
REQUESTED CLASSIFICATION: C-3; Automotive and Commercial Recreation District  
PROPOSED PROPERTY USE: Emergency Medical Clinic

PLANNING COMMISSION MEETING DATE: 03-05-2014

PLANNING COMMISSION RECOMMENDATION: Approval per Staff Report

VOTE OF THE PLANNING COMMISSION:

MEMBERS PRESENT: 6

MEMBERS:	1ST	2ND	AYE	NAY	ABSTAIN	COMMENTS
BERGSTEN			X			
CARTER		X	X			
HOSTER			X			
TURNER (CHAIRMAN)			X			
SILVIA (VICE-CHAIRMAN)	X		X			
COWEN			X			
SALTER						Absent

RESPECTFULLY SUBMITTED,  
Cheyenne Lincoln  
SECRETARY, PLANNING COMMISSION

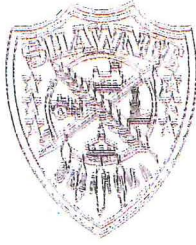
ACTION BY CITY COMMISSION:

PUBLIC HEARING SET: \_\_\_\_\_

DATE OF ACTION: \_\_\_\_\_

ADOPTED \_\_\_\_\_ DENIED \_\_\_\_\_

ORDINANCE NO. \_\_\_\_\_



**City of Shawnee**  
**Community Development Department**  
222 N. Broadway  
Shawnee, OK 74801  
(405) 878-1665 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

**STAFF REPORT**  
**REZONE**  
**CASE #P03-14**

**TO:** Shawnee Planning Commission

**AGENDA:** March 5, 2014

**RE:** Rezone Request from C-1: Neighborhood Commercial to C-3:  
Commercial Automotive

---

**PROPOSAL**

The applicant is requesting to rezone the subject site of 1.35 acres (approximately) to facilitate the construction of an Emergency Medical Center. The property is located on the North-West corner of MacArthur St. and Bell St. The property is currently zoned C-1 (Neighborhood Commercial) and the requested zoning classification is C-3 (Commercial Automotive). The property is currently undeveloped.

**GENERAL INFORMATION**

<b>Applicant</b>	James T. Kerr
<b>Owner</b>	XW Real Estate; LLC
<b>Site Location/Address</b>	8 and 12 East MacArthur
<b>Current Site Zoning</b>	C-1: Suburban Office Commercial
<b>Proposed Zoning</b>	C-3: Commercial Automotive
<b>Property Area</b>	1.35 Acres
<b>Current Use</b>	Undeveloped
<b>Proposed Use</b>	Emergency Medical Clinic

<b>Comprehensive Plan Designation</b>	Commercial
<b>Existing Land Use</b>	Commercial
<b>Surrounding Land Use</b>	North – Residential (R-1) South – various Commercial (C-2 / C-3) West – Residential and Commercial (R-1 / C-3) East – Commercial (C-3)
<b>Surrounding Zoning</b>	Varies – please see zoning map. ( <i>Figure 1</i> )

**STAFF REVIEW AND ANALYSIS**

The applicant is requesting approval for a rezone from C-1 (Neighborhood Commercial) to C-3 (Commercial Automotive) for the eventual construction of an Emergency Medical Center.

As the subject property is currently zoned Commercial and will remain Commercial if approved; It is consistent with the current zoning pattern in the area. Properties directly abutting MacArthur Street, including the subject property, are zoned Commercial and surrounded by residential properties. According to the Shawnee Comprehensive Plan (Figure 4.2), this immediate area is designated Commercial/Residential, allowing the requested zoning to remain consistent with future land use.

Staff does hereby recommend the proposed zone change from C-1 (Neighborhood Commercial) to C-3 (Commercial Automotive) as it is consistent with the Shawnee Comprehensive Plan and zoning pattern in the immediate area.

**STAFF RECOMMENDATION**

Staff recommends **approval** of the proposed rezone from *C-1: Neighborhood Commercial* to *C-3: Commercial Automotive* for the subject property.

**Attachments**

1. Figure 1: Zoning map
2. Figure 2: Aerial view of site
3. Figure 3: Site Plan
4. Figure 4: Future Land Use Map

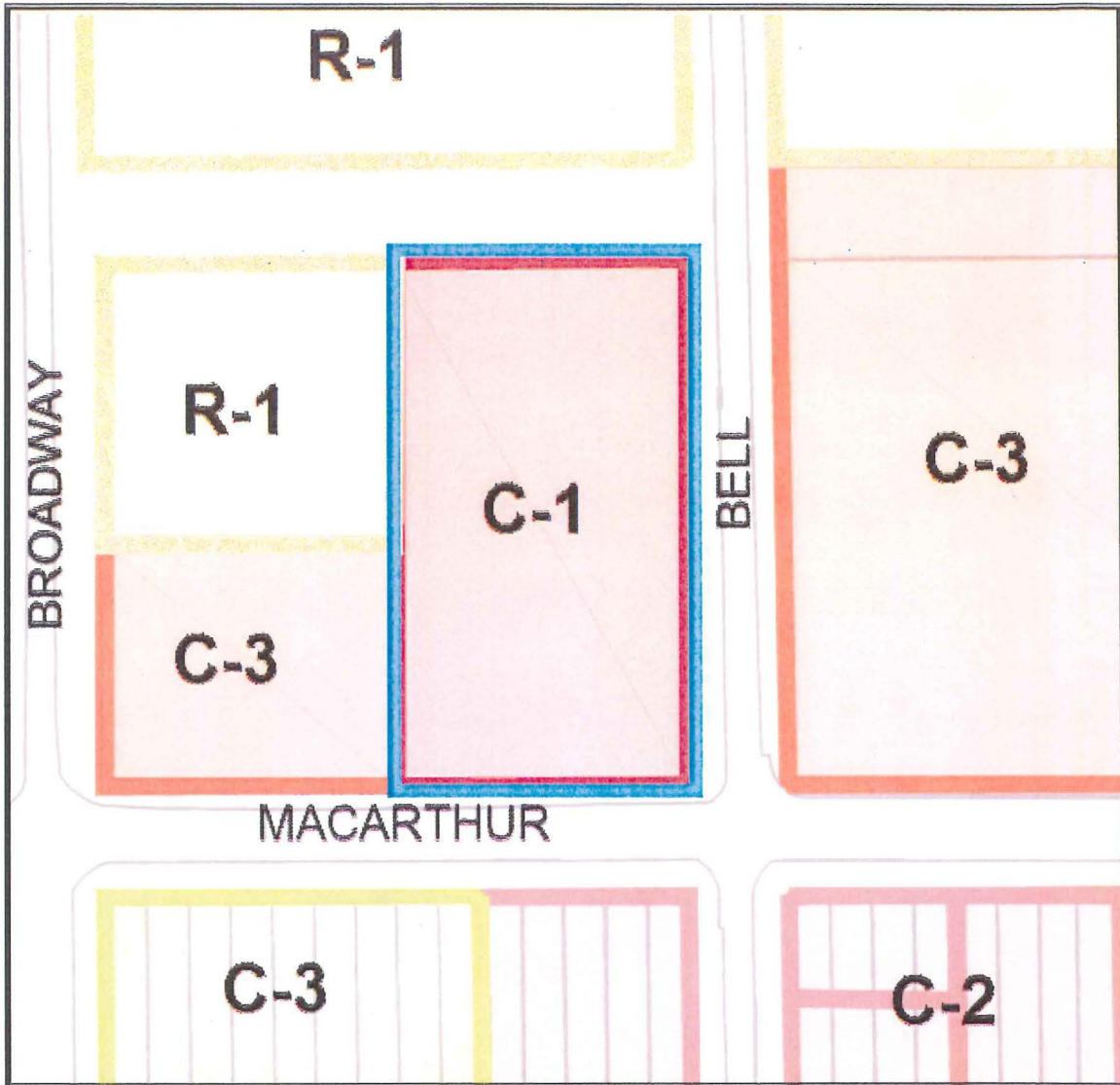
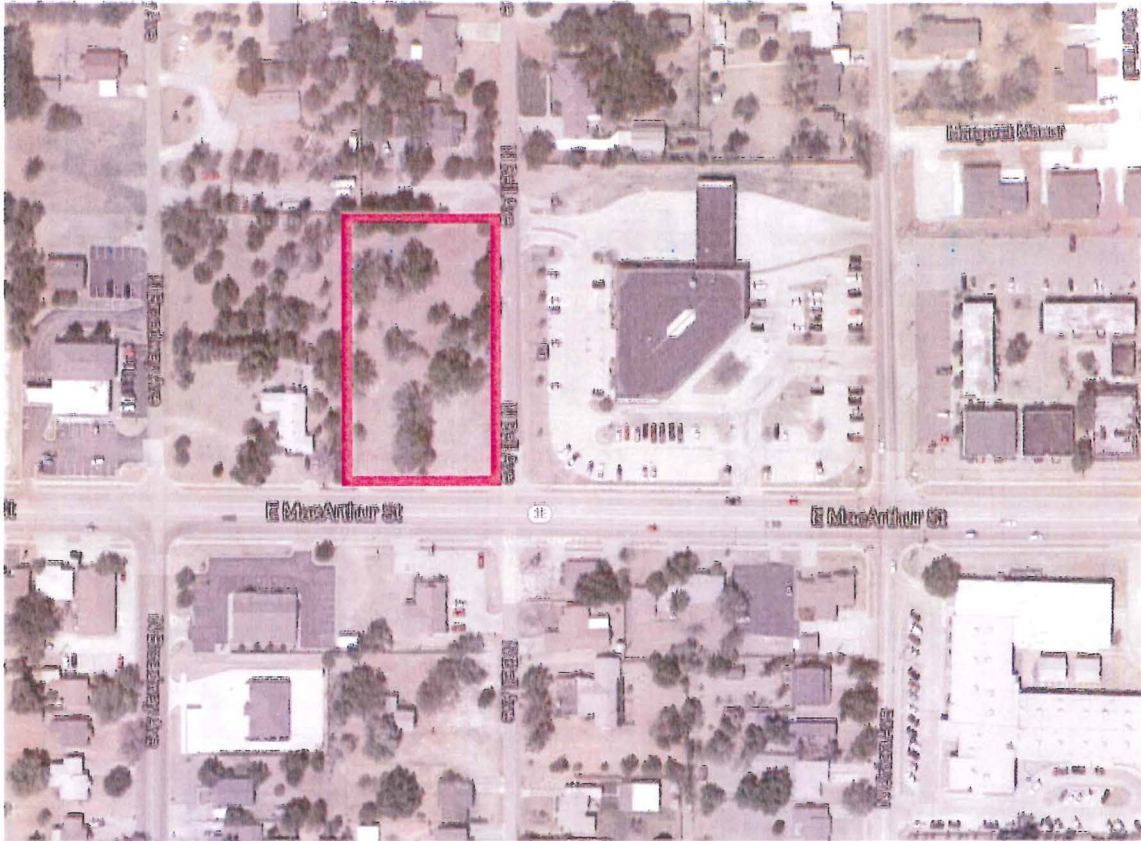


Figure 1: Zoning Map of site – approximate total area outlined in blue.



**Figure 2:** Aerial view of the site – approximate total area outlined in red.

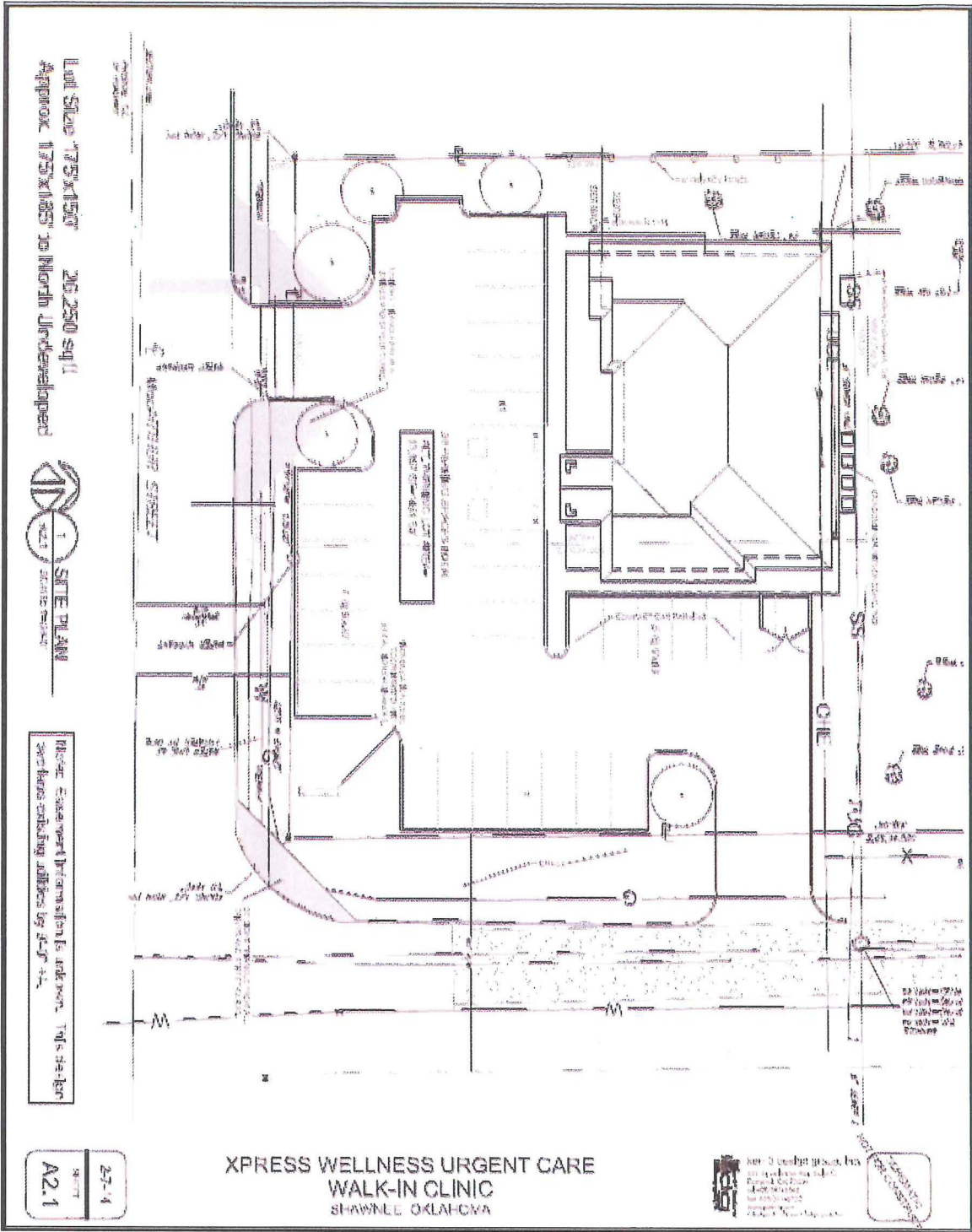
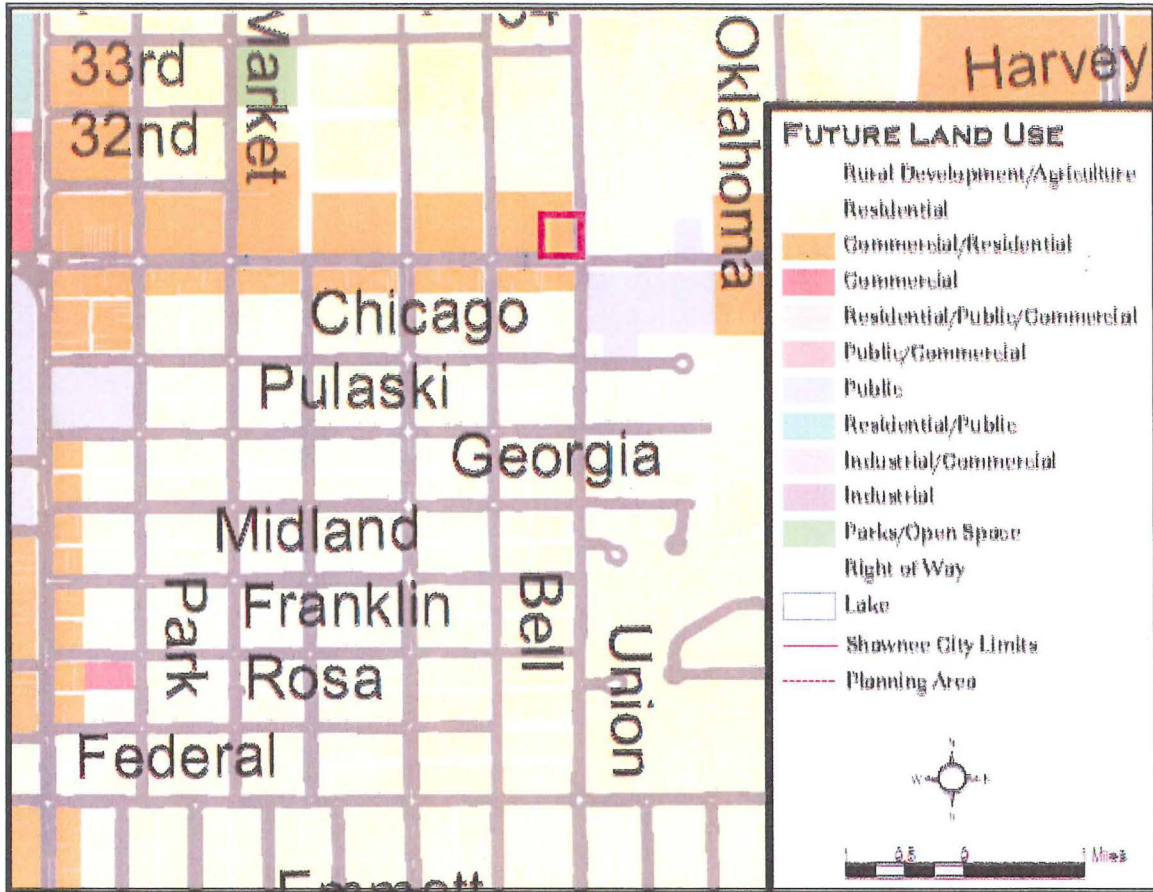


Figure 3: Site Plan





**Figure 4:** Shawnee Comprehensive Plan: Future Land Use Map (Figure 4.2).  
 Approximate area outlined in red.

CITY OF SHAWNEE  
PUBLIC HEARING NOTICE  
CASE #P03-14

Notice is hereby given that the City of Shawnee, Oklahoma, will conduct a public hearing on a proposed Rezone of property located within the City of Shawnee.

The property requesting rezoning is described as follows:

The West 100 feet of the East Half of the South Half (E/2 S/2) and the East Half of the North Half (E/2 N/2) and the East 75 feet of the South Half (S/2) of Block Two (2), WYANT'S FIRST ADDITION, to the City of Shawnee, Pottawatomie County, Oklahoma..LESS the South 7 feet and the South Half (S/2) of vacated 32"d Street adjacent to the North line of Block Two (2).

General Location Known As:	<u>8 &amp; 12 E. MacArthur</u>
Current Zoning Classification:	<u>C-1</u>
Requested Zoning Classification:	<u>C-3</u>
Proposed Use of Property:	<u>Medical Clinic</u>
Applicant:	<u>James Kerr</u>

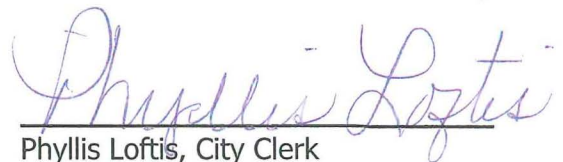
The "Zoning Map of the City of Shawnee, Oklahoma" will be amended accordingly to reflect such change if approved by the City Commission.

The public hearings will be held in the City Commission Chambers in City Hall, 16 W. 9<sup>th</sup> St. Shawnee, Oklahoma, as follows:

March 5 <sup>th</sup> , 2014	AT 1:30 P.M.: CITY OF SHAWNEE PLANNING COMMISSION
March 17 <sup>th</sup> , 2014	AT 6:30 P.M.: CITY OF SHAWNEE CITY COMMISSION

At this time any interested citizen of Shawnee, Oklahoma will have the opportunity to appear and be heard with regard to the rezone. The Commission reserves the right to limit discussion and debate on the proposed rezone in the public hearing, in which event those persons appearing in support or opposition of the proposed rezone will be allotted equal time. Any formal protest must be filed in writing with the City Clerk during normal working hours before 5:00 p.m. a minimum of three (3) days prior to the hearing. If there are any questions about the proposal, or you need additional information prior to the public hearing, please contact the Planning Department at 878-1616. A copy of the application is available for public inspection during normal working hours in the Planning Secretary's office at 222 N. Broadway.

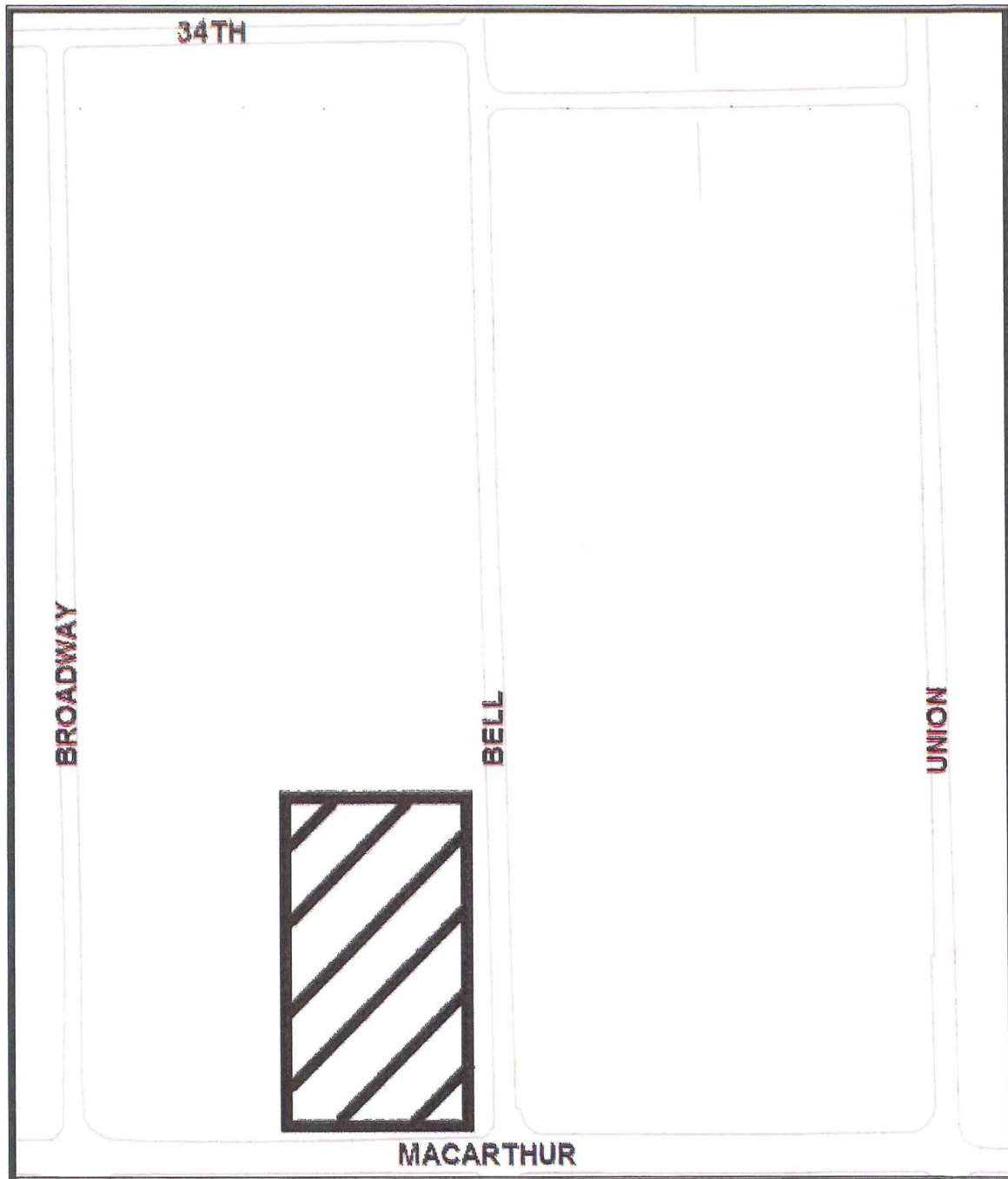
Witness my hand this 11<sup>th</sup> day of February, 2014.

  
\_\_\_\_\_  
Phyllis Loftis, City Clerk



Location Map

CASE P03-14



222 N. BROADWAY  
SHAWNEE, OK 74801

PLANNING DEPARTMENT  
PHONE: (405) 878-1666  
FAX: (405) 878-1587

**PLANNING COMMISSION APPLICATION**

PROJECT NO. 140137 CASE NO. 203-14

**REQUEST:**

Rezoning X Rezoning w/Conditional Use Permit \_\_\_\_\_ Conditional Use Permit \_\_\_\_\_  
Planned Unit Development \_\_\_\_\_

I, the undersigned, do hereby respectfully make application and petition to the City Commission to amend the zoning map, and to change the zoning district of the Shawnee area, from C-1 Neighborhood Comm. District to C-3 International Comm. R. District, as hereinafter requested, and in support of this application, the following facts are shown:

PROPERTY LOCATION: (STREET ADDRESS): S and 12 East MacArthur

LEGAL DESCRIPTION: SEE ATTACHMENT

PROPERTY OWNER (S) XW REAL ESTATE, LLC, 1710 <sup>WEST</sup> WILLOW, STE 200, ENID, OK 73703

PROPERTY AGENT (APPLICANT): NAMES T. KERR, IV

APPLICANT'S ADDRESS: 507 S. COLTRANE, SUITE G

CITY: EDMOND STATE OK ZIP 73034

EMAIL ADDRESS: jkerr@kerr3.com

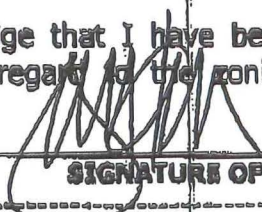
TELEPHONE NUMBER: (405) 341-6546 CONTACT NUMBER: ( )

DIMENSIONS OF PROPERTY: AREA ~ 58,625 SF WIDTH 175'  
PLAN TO DEVELOP FRONT LENGTH 335' FRONTAGE 175'  
150' OF LOT INITIALLY

CURRENT ZONING: C-1 CURRENT USE: UNDEVELOPED

PROPOSED ZONING: C-3 PROPOSED USE: EMERGENCY MEDICAL CLINIC

With the filing of this application, I acknowledge that I have been informed of off-street parking, fencing and paving requirements in regard to the zoning I have requested as witnessed by my signature.

  
SIGNATURE OF APPLICANT

(FOR STAFF USE ONLY)

Filed in the office of the Planning Department, 222 N. Broadway, this 4th day of February 20 14

  
PLANNING COMMISSION SECRETARY

REZONING &/OR C.U.P FEE \$ 280.00

PLANNED UNIT DEVELOPMENT FEE \$ 550.00

RECIPT NO. 015675610

SIGN DEPOSIT \$ 50.00

(Refundable if Applicant returns 48 hrs. after City Commission Meeting)

PLANNING COMMISSION ACTION: \_\_\_\_\_

DATE: \_\_\_\_\_

CITY COMMISSION ACTION: \_\_\_\_\_

DATE: \_\_\_\_\_

PLACE ON ZONING MAP: \_\_\_\_\_

ORDINANCE NO.: \_\_\_\_\_

STATE OF OKLAHOMA )  
 ) SS:  
COUNTY OF POTTAWATOMIE )

**-: AFFIDAVIT OF BONDED ABTRACTOR :-**

The undersigned Bonded Abstractor in and for the aforesaid County and State does hereby certify that the following Ownership is true and correct according to the current year's tax rolls in the Office of the County Treasurer of Pottawatomie County, Oklahoma, as updated by the records of the Office of the County Clerk of Pottawatomie County, Oklahoma; that the owners, as reflected by said records, are based on the last conveyance or final decree of record of certain properties located within 300 feet in all directions of the following described lands:

The West 100 feet of the East Half of the South Half (E/2 S/2) and the East Half of the North Half (E/2 N/2) and the East 75 feet of the South Half (S/2) of Block Two (2), WYANT'S FIRST ADDITION, to the City of Shawnee, Pottawatomie County, Oklahoma...LESS the South 7 feet and the South Half (S/2) of vacated 32<sup>nd</sup> Street adjacent to the North line of Block Two (2).

and find the following owners, addresses and brief legal descriptions on the attached pages numbered from One (1) to Three (3), both inclusive.

The Abstractor makes no representation or warranty, either expressed or implied, regarding the accuracy of the information contained in this report. The Abstractor does not guarantee the validity of the title of such parties nor is this report intended to guarantee title thereof. The liability of the Abstractor shall be based solely on contract and shall be limited to the price paid for the report by the customer. The parties agree that the Abstractor shall not be liable for consequential damages. Acceptance of the instrument constitutes acceptance of this limitation on liability.

EXECUTED at Shawnee, Oklahoma, this 22<sup>nd</sup> day of January, 2014.

FIRST AMERICAN TITLE AND TRUST COMPANY

By   
Teresa Southard, Licensed Abstractor #264

Order No. 1901084-SH99

# Ownership List

Order No. 1901084-SH99

Date January 22, 2014

Page No. 1

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OWNER

BRIEF LEGAL:

---

Citizen Band Potawatomi Indian Tribe of Oklahoma – 1901 S. Gordon Cooper Dr., Shawnee, OK 74801

Block 1, WYANT'S FIRST ADDITION ...LESS S 7' to City & S 65' Block 6, WYANT'S SECOND ADDITION to Shawnee

---

Sharon Sue Boone, Charlotte Louise Andrew and Linda Belford – 537 W. Dill, Shawnee, OK 74801

W/2 of N/2 of Block 2, WYANT'S FIRST ADDITION to Shawnee

---

Robert Gunderson and Karen Gunderson – P.O. Box 6814, Edmond, OK 73083

E/2 N/2 & E 75' S/2 & W 100' of E/2 S/2, Block 2, WYANT'S FIRST ADDITION to Shawnee & the S/2 of vacated 32<sup>nd</sup> Street adjacent to property...LESS S 7' to City

---

Kermit M. Milburn – 1509 N. Shawnee, Shawnee, OK 74804

W/2 S/2 Block 2, WYANT'S FIRST ADDITION to Shawnee...LESS S 7' to City

---

Bison Federal Credit Union – 2 W. MacArthur, Shawnee, OK 74804

E 124' Block 3, WYANT'S FIRST ADDITION to Shawnee

---

Wendell P. Kirk, Phyllis S. Kirk, Bruce Kirk and Brian D. Kirk, et al – 65 Norman Dr., Birmingham, AL 35213

Block 4, WYANT'S SECOND ADDITION to Shawnee...LESS N 225' of E 142'

---

Deborah Haffey, Todd Rigney and Shawna Rigney – 2804 N. Broadway, Shawnee, OK 74804

Beg. 125' S NE/C Block 4, WYANT'S SECOND ADDITION to Shawnee; thence W 142'; thence S 100'; thence E 142'; thence N 100' to beg.

---

Ila Grace Lofties Hall and Murel Dewrell Hall – 2812 N. Broadway, Shawnee, OK 74804

Beg. NE/C Block 4, WYANT'S SECOND ADDITION to Shawnee; thence S 75'; thence W 142'; thence N 75'; thence E 142' to beg.

---

Sac & Fox Housing Authority – 2806 N. Broadway, Shawnee, OK 74804

Beg. 75' S NE/C Block 4, WYANT'S SECOND ADDITION to Shawnee; thence W 142'; thence S 50'; thence E 142'; thence N 50' to beg.

---

Karen S. Meshew 2007 Revocable Trust – 2803 N. Broadway, Shawnee, OK 74804

Beg. SW/C Block 5, WYANT'S SECOND ADDITION to Shawnee; thence N 147.86'; thence E 217'; thence S 147.73'; thence W 217' to beg.

---

Richard A. Palomares and Joy K. Palomares – 2805 N. Broadway, Shawnee, OK 74804

Beg. NW/C Block 5, WYANT'S SECOND ADDITION to Shawnee; thence E 180'; thence S 151.48'; thence E 37'; thence S 61.27'; thence W 217'; thence N 212.73' to beg.

---

Joyce Mae Wood – 2808 N. Bell Avenue, Shawnee, OK 74804

Beg. 121' S NE/C Block 5, WYANT'S SECOND ADDITION to Shawnee; thence S 85'; thence W 143'; thence N 85'; thence E 143' to beg.

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## Ownership List

Order No. 1901084-SH99

Date January 22, 2014

Page No. 2

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### OWNER

#### BRIEF LEGAL:

---

Roy Blackshire II – 2802 N. Bell, Shawnee, OK 74804

Beg. 206' S NE/C, Block 5, WYANT'S SECOND ADDITION to Shawnee; thence S 124' to center of vacated 32<sup>nd</sup> Street; thence W along center line of Street 143'; thence N 124'; thence E 143' to beg.

---

Jerry Donal Newsom and Virginia Diane Newsom 2008 Revocable Trust – 2824 N. Bell, Shawnee, OK 74804

Beg. NE/C Block 5, WYANT'S SECOND ADDITION to Shawnee; thence S 121'; thence W 180'; thence N 121'; thence E 180' to beg. & S 30' vacated 33<sup>rd</sup> Street adjacent on North

---

Suella King – 2821 N. Bell, Shawnee, OK 74804

Beg. 202' W NE/C Block 6; thence W 202'; thence S 90'; thence E 202'; thence N 90' to beg. & Beg. 202' W & 90' S NE/C Block 6; thence W 202'; thence S 10'; thence E 202'; thence N 10' to beg., WYANT'S SECOND ADDITION to Shawnee

---

Walter Girty – 2814 N. Union, Shawnee, OK 74804

Beg. 195' S NE/C Block 6, WYANT'S SECOND ADDITION to Shawnee; thence W 202'; thence S 65'; thence E 202'; thence N 65' to beg.

---

John Paul Spear – 2824 N. Union, Shawnee, OK 74804

Beg. 65' S NE/C Block 6, WYANT'S SECOND ADDITION to Shawnee; thence W 202'; thence S 65'; thence E 202'; thence N 65' to beg.

---

Jerry D. Mizzelle and Evelyn R. Mizzelle – 2820 N. Union, Shawnee, OK 74804

Beg. 130' S NE/C Block 6, WYANT'S SECOND ADDITION to Shawnee; thence W 202'; thence S 65'; thence E 202'; thence N 65' to beg.

---

William C. Lyon and Mary V. Lyon – 2803 N. Bell, Shawnee, OK 74804

Beg. 202' W & 100' S NE/C Block 6, WYANT'S SECOND ADDITION to Shawnee; thence W 202'; thence S 100'; thence E 202'; thence N 100' to beg.

---

Warren G. Rutherford and Ramah L. Rutherford Trust – 2801 N. Bell, Shawnee, OK 74804

Beg. 202' W & 200' S NE/C Block 6, WYANT'S SECOND ADDITION to Shawnee; thence S 125'; thence W 202'; thence N 125'; thence E 202' to beg.

---

William Rinderer and Lois Rinderer – 6 Melanie Lane, Shawnee, OK 74801

Beg. 260' S NE/C Block 6, WYANT'S SECOND ADDITION to Shawnee; thence W 202'; thence S 65'; thence E 202'; thence N 65' to beg.

---

Gary G. Vogel and Betty G. Vogel Trust – 129 E. MacArthur, Shawnee, OK 74804

Lots 4 thru 6, Block 1, ROSE GARDEN ADDITION to Shawnee

---

Residential Mortgage Acceptance – P.O. Box 1244, Shawnee, OK 74802-1244

Lots 7 thru 11, Block 1, ROSE GARDEN ADDITION to Shawnee

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# Ownership List

Order No. 1901084-SH99

Date January 22, 2014

Page No. 3

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OWNER

BRIEF LEGAL:

---

Steven C. Smith Living Trust – 4220 N. Harrison, Shawnee, OK 74804

Lots 12 thru 15, Block 1, ROSE GARDEN ADDITION to Shawnee...LESS S 60' & N 7'

---

Kenneth Lee Westervelt and Larry Steven Westervelt – 7 Oak Hollow Road, Shawnee, OK 74804

S 60' Lots 12 thru 15, Block 1, ROSE GARDEN ADDITION to Shawnee

---

Matthew C. Martin and Sheila L. Martin – 2615 N. Bell, Shawnee, OK 74804

Lots 16 thru 20, Block 1, ROSE GARDEN ADDITION to Shawnee

---

Peter A. Ramirez and Kelly L. Ramirez – 2609 N. Bell, Shawnee, OK 74804

Lots 21 thru 23, Block 1 & Lots 33 thru 36, Block 2, ROSE GARDEN ADDITION to Shawnee

---

Martin Rental Properties, LLC – 2620 N. Union, Shawnee, OK 74804

Lots 34 & 35, Block 1, ROSE GARDEN ADDITION to Shawnee

---

William J. Martin and Mary Martin Trust – 2620 N. Union, Shawnee, OK 74804

Lots 36 & 37, Block 1, ROSE GARDEN ADDITION to Shawnee

---

Peggy L. Ford 2006 Revocable Trust – P.O. Box 3487, Shawnee, OK 74802-3487

Lots 1 thru 5, Block 2, ROSE GARDEN ADDITION to Shawnee

---

Scott Shadid and Nanay L. Shadid Revocable Trust – 3 E. MacArthur, Shawnee, OK 74804

Lots 6 thru 14, Block 2, ROSE GARDEN ADDITION to Shawnee

---

CT Commercial Properties, LLC – 2621 N. Broadway, Shawnee, OK 74804

Lots 15 thru 18, Block 2, ROSE GARDEN ADDITION to Shawnee

---

Ruth Wilson – 2607 N. Broadway, Shawnee, OK 74804

Lots 19 thru 21, Block 2, ROSE GARDEN ADDITION to Shawnee

---

Patty Sue Wagstaff – 2608 N. Bell, Shawnee, OK 74804

Lots 30 thru 32, Block 2, ROSE GARDEN ADDITION to Shawnee

---

Michael B. Lawson and Cheryl Ann Lawson – 2618 N. Broadway, Shawnee, OK 74804

Lots 1 thru 4 & Lots 38 & 39 , Block 3, ROSE GARDEN ADDITION to Shawnee...& vacated alley

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ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE CONCERNING THE ZONING CLASSIFICATION OF THE FOLLOWING DESCRIBED PROPERTY LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF SHAWNEE, OKLAHOMA, TO-WIT: THE WEST 100 FEET OF THE EAST HALF OF THE SOUTH HALF (E/2 S/2) AND THE EAST HALF OF THE NORTH HALF (E/2 N/2) AND THE EAST 75 FEET OF THE SOUTH HALF (S/2) OF BLOCK TWO (2), WYANT'S FIRST ADDITION, TO THE CITY OF SHAWNEE, POTTAWATOMIE COUNTY, OKLAHOMA ...LESS THE SOUTH 7 FEET AND THE SOUTH HALF (S/2) OF VACATED 32"D STREET ADJACENT TO THE NORTH LINE OF BLOCK TWO (2) FROM C-1; NEIGHBORHOOD BUSINESS TO C-3; AUTOMOTIVE, COMMERCIAL AND RECREATIONAL DISTRICT, AND AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SHAWNEE ACCORDINGLY

WHEREAS, pursuant to notice duly given as required by law, a public hearing was conducted by the Board of Commissioners of the City of Shawnee, Oklahoma on the 17<sup>th</sup> day of March 2014, upon an application to grant a rezoning of property located in the City of Shawnee, Oklahoma to C-3; Automotive, Commercial and Recreational District.

WHEREAS, the Planning Commission of the City of Shawnee has conducted one or more public hearings on said application pursuant to notice as required by law and has submitted its final report and recommendation upon said application to the Board of Commissioners; and

WHEREAS, it appears to be in the best interest of the City of Shawnee and the inhabitants thereof for said property to be rezoned as considered.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COMMISSIONERS OF THE CITY OF SHAWNEE, OKLAHOMA:

Section 1: That the following described property located in the City of Shawnee, Oklahoma, to-wit: the West 100 feet of the East Half of the South Half (E/2 S/2) and the East Half of the North Half (E/2 N/2) and the East 75 feet of the South Half (S/2) of Block Two (2), WYANT'S FIRST ADDITION, to the City of Shawnee, Pottawatomie County, Oklahoma..LESS the South 7 feet and the South Half (S/2) of vacated 32"d Street adjacent to the North line of Block Two (2) be rezoned C-3; Automotive, Commercial and Recreational District, and the official zoning map heretofore adopted is hereby amended as to include said property C-3; Automotive, Commercial and Recreational District.

PASSED AND APPROVED this 17<sup>th</sup> day of March 2014.

\_\_\_\_\_  
WES MAINORD, MAYOR

ATTEST:

\_\_\_\_\_  
PHYLLIS LOFTIS, CMC, CITY CLERK

**Regular Board of Commissioners**

**11.**

**Meeting Date:** 03/17/2014

Conditional Use Permit 6 W Main

Submitted By: Donna Mayo, Administration

Department: Administration

---

Information

Title of Item for Agenda

Public hearing and consideration of approval of a Conditional Use Permit in C-4 zoning located at 6 West Main. Case #P02-14 Applicant: Rob and Misty Hardison

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Attachments

Rezone CUP 6 West Main

Ordinance P02-14

RECOMMENDATION TO:

MAYOR  
BOARD OF CITY COMMISSIONERS  
CITY OF SHAWNEE

RECOMMENDATION FROM:

CITY OF SHAWNEE  
PLANNING COMMISSION

SUBJECT:

APPLICANT: Rob & Misty Hardison  
FOR: Conditional Use Permit  
LOCATION: 6 W. Main Street, Shawnee, OK  
PROJECT#: 140115 Case# P02-14

LEGAL DESCRIPTION:

SEE OWNERSHIP LIST

CURRENT CLASSIFICATION: C-4;Central Business District  
REQUESTED CLASSIFICATION: C-4;Central Business District w/CUP  
PROPOSED PROPERTY USE: Art studio with alcoholic beverages

PLANNING COMMISSION MEETING DATE: 03-05-2014

PLANNING COMMISSION RECOMMENDATION: Approval with following conditions:

1. The sale of alcohol shall not constitute the main purpose of the business.
2. The Conditional Use Permit shall be non-transferable.

VOTE OF THE PLANNING COMMISSION:

**MEMBERS PRESENT:** 6

MEMBERS:	1ST	2ND	AYE	NAY	ABSTAIN	COMMENTS
BERGSTEN				X		
CARTER			X			
HOSTER		X	X			
TURNER (CHAIRMAN)			X			
SILVIA (VICE-CHAIRMAN)			X			
COWEN	X		X			
SALTER						Absent

RESPECTFULLY SUBMITTED,  
Cheyenne Lincoln  
SECRETARY, PLANNING COMMISSION

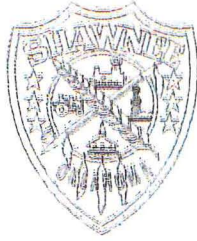
ACTION BY CITY COMMISSION:

PUBLIC HEARING SET: \_\_\_\_\_

DATE OF ACTION: \_\_\_\_\_

ADOPTED \_\_\_\_\_ DENIED \_\_\_\_\_

ORDINANCE NO. \_\_\_\_\_



**City of Shawnee**  
**Community Development Department**  
222 N. Broadway  
Shawnee, OK 74801  
(405) 878-1665 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

**STAFF REPORT**  
**REZONE**  
**CASE #P02-14**

**TO:** Shawnee Planning Commission

**AGENDA:** March 5, 2014

**RE:** Consideration of a *Conditional Use Permit* to allow for the sale of mixed-beverage alcohol for on-premise consumption.

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**PROPOSAL**

The applicant requests approval of a Conditional Use Permit to allow for on-site consumption of mixed-beverage alcohol within the premises. The subject property is located at 6 West Main St. and is zoned C-4. No modifications to the building are proposed at this time.

**GENERAL INFORMATION**

<b>Applicant</b>	Rob & Misty Hardison
<b>Owner</b>	Robert J. Hardison & Misty J. Hardison
<b>Site Location/Address</b>	6 West Main Street (Lot 12, Block 24)
<b>Current Site Zoning</b>	C-4: Central Business District
<b>Proposed Zoning</b>	C-4: Central Business District (w/ CUP)
<b>Property Area</b>	2,755 Square Feet
<b>Current Use</b>	Computer Shop
<b>Proposed Use</b>	Art and Alcoholic Beverage Studio
<b>Comprehensive Plan Designation</b>	Commercial

<b>Existing Land Use</b>	Commercial
<b>Surrounding Land Use</b>	Commercial (C-4)
<b>Surrounding Zoning</b>	Commercial (C-4)

**STAFF REVIEW AND ANALYSIS**

The applicant is requesting a conditional use permit to allow for on-site consumption of mixed-beverages.

The property in question is currently vacant and was formerly a Computer Sales and Repair store. The proposed business would be an art studio serving wine/mixed beverages to customers participating in pre-paid painting sessions. The facilities would also be available for rent to host private parties.

The subject property and surrounding areas are zoned C-4 (Downtown Business District). Beside the subject property there are other businesses in the C-4 designation that have been granted conditional use permits to serve alcohol.

According to Section 37-518.3 of the Oklahoma Alcoholic Beverage Control Act, it is unlawful for a business which has as its main purpose the selling or serving of alcoholic beverages to be located within three hundred (300') feet of any public or private school or church. If alcohol sales are not the main purpose, such restrictions are not applicable. The applicant has not dictated whether the sale of mixed-beverage or wine will be the main purpose, or incidental. Staff would recommend conditional approval of the requested Conditional Use Permit requiring the main purpose of business not be mixed-beverage alcohol sale. Instead, alcohol sales shall be an incidental use.

The request to allow alcohol to be sold for on-premise consumption does not affect the character of the neighborhood, traffic congestion, or public utilities. Granting a permit to sell alcohol for on-premise consumption is consistent with other conditional use permits that have been approved in the C-4 district.

**STAFF RECOMMENDATION**

Staff recommends approval of the requested Conditional Use Permit for the purpose of on-premise consumption of mixed beverages with conditions:

1. The sale of alcohol shall not constitute the main purpose of the business.

**Attachments**

1. Figure 1: Zoning map
2. Figure 2: Aerial view of site



Figure 1: Zoning Map of site – approximate total area outlined in blue.

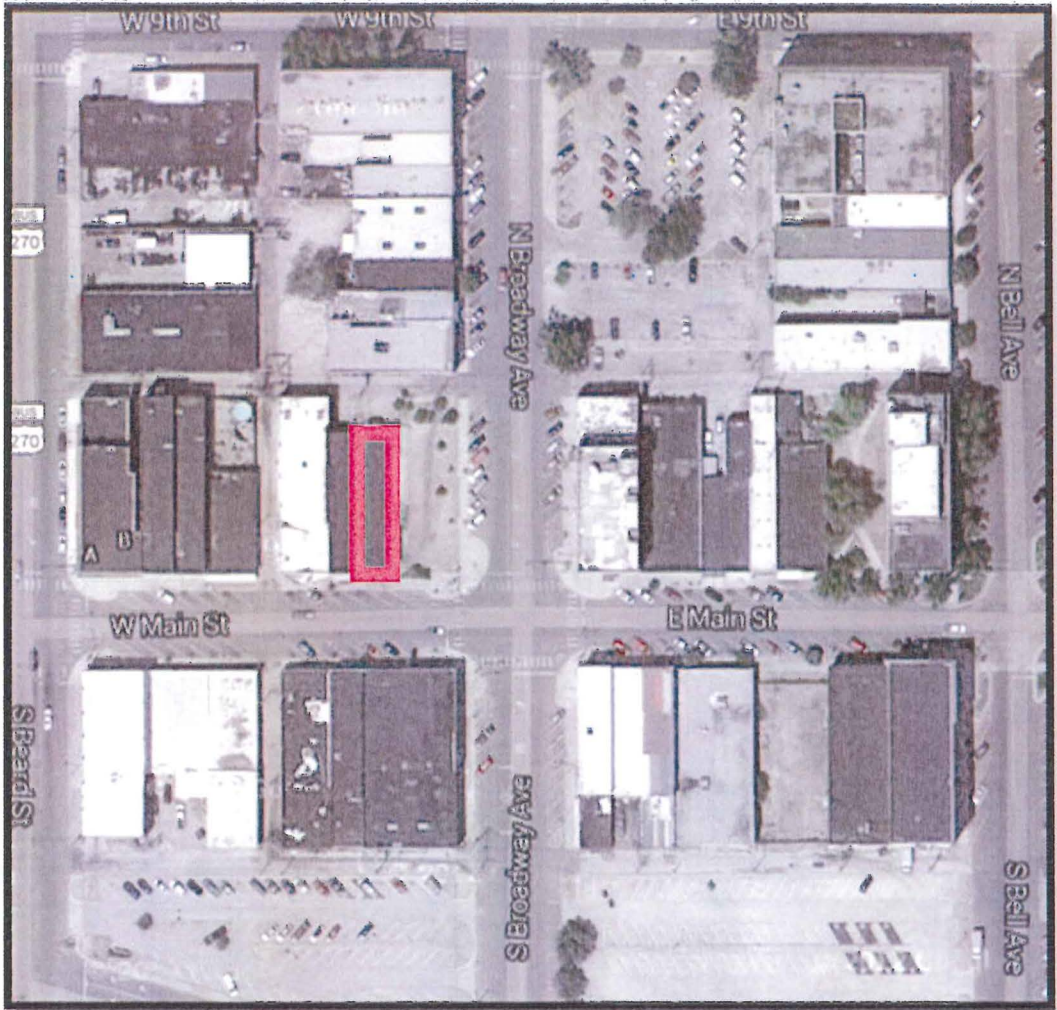


Figure 2: Aerial view of the site – approximate total area outlined in red.

CITY OF SHAWNEE  
PUBLIC HEARING NOTICE  
CASE #P02-14

Notice is hereby given that the City of Shawnee, Oklahoma, will conduct a public hearing on an application for a Conditional Use Permit on property located within the City of Shawnee.

The applicant requests a conditional use permit for the following described property:

Lot 12, Block 24, AMENDED PLAT, to the City of Shawnee, Pottawatomie County, Oklahoma, according to the recorded plat thereof.

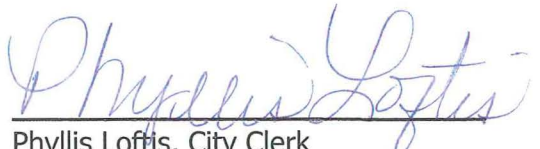
General Location Known As:	<u>6 W. Main St.</u>
Current Zoning Classification:	<u>C-4</u>
Requested Zoning Classification:	<u>C-4 w/CUP</u>
Proposed Use of Property	<u>Art Studio with alcoholic beverages</u>
Applicant:	<u>Rob &amp; Misty Hardison</u>

The public hearings will be held in the City Commission Chambers in City Hall, 16 W. 9<sup>th</sup> St. Shawnee, Oklahoma, as follows:

March 5 <sup>th</sup> , 2014	AT 1:30 P.M.:	CITY OF SHAWNEE PLANNING COMMISSION
March 17 <sup>th</sup> , 2014	AT 6:30 P.M.:	CITY OF SHAWNEE CITY COMMISSION

At this time any interested citizen of Shawnee, Oklahoma will have the opportunity to appear and be heard with regard to the conditional use permit. The Commission reserves the right to limit discussion and debate on the proposed conditional use permit in the public hearing, in which event those persons appearing in support or opposition of the proposed conditional use permit will be allotted equal time. If there are any questions about the proposal, or you need additional information prior to the public hearing, please contact the Planning Department at 878-1616. A copy of the application is available for public inspection during normal working hours in the Planning Secretary's office at 222 N. Broadway.

Witness my hand this 11<sup>th</sup> day of February, 2014.

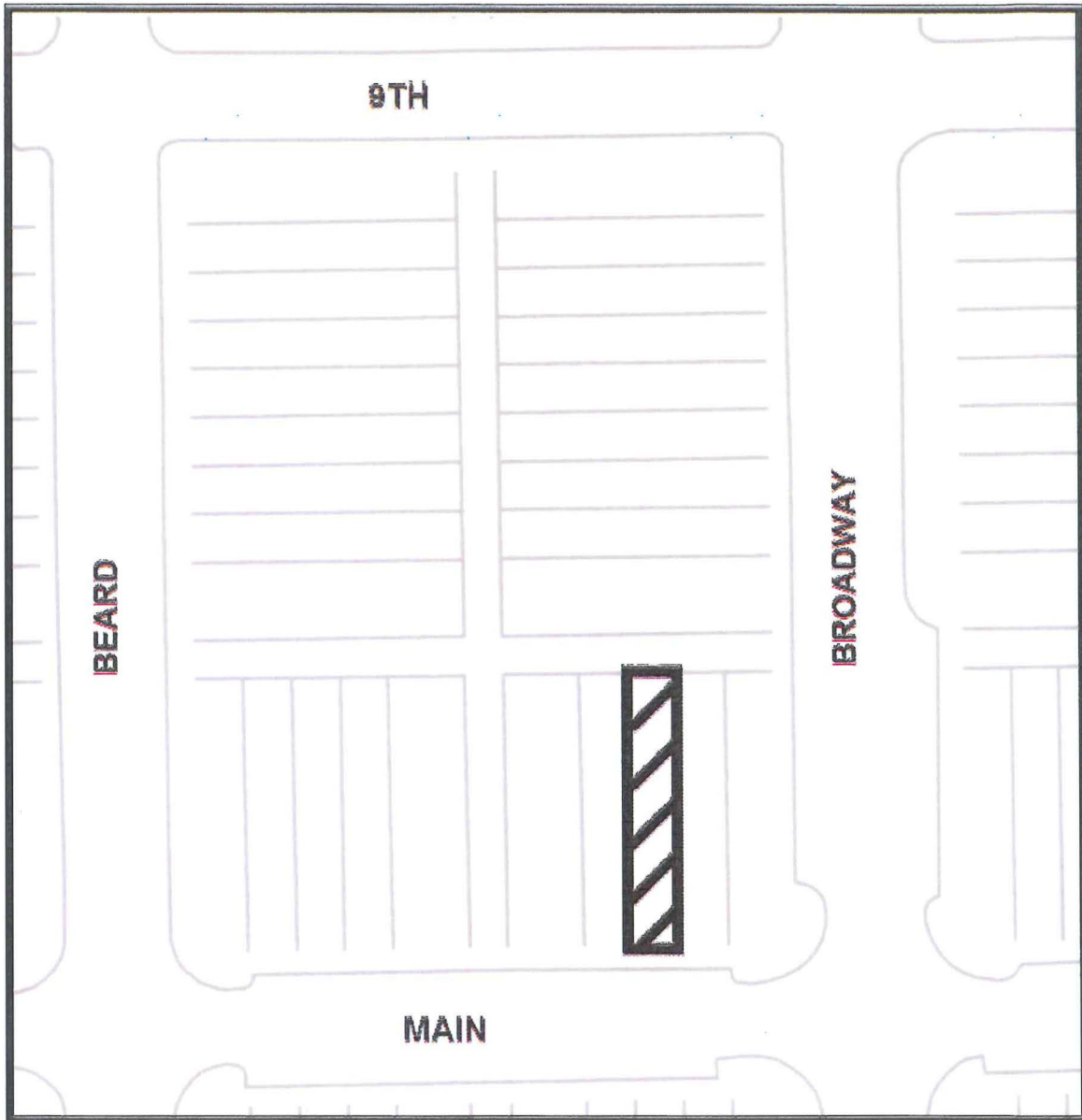
  
\_\_\_\_\_  
Phyllis Loftis, City Clerk





Location Map

Case P02-14



**PLANNING COMMISSION APPLICATION**  
**PROJECT NO. 140115 CASE NO. P02-14**

**REQUEST:**

Rezoning \_\_\_\_\_ Rezoning w/Conditional Use Permit \_\_\_\_\_ Conditional Use Permit X  
Planned Unit Development \_\_\_\_\_

I, the undersigned, do hereby respectfully make application and petition to the City Commission to amend the zoning map, and to change the zoning district of the Shawnee area, from C-4 District to C-4 w/C.U.P. District, as hereinafter requested, and in support of this application, the following facts are shown:

**PROPERTY LOCATION (STREET ADDRESS):** 6 West Main Shawnee OK

**LEGAL DESCRIPTION:** Lots Twelve (12) and Thirteen (13) Block Twenty Four (24) of Amended Platf to the City of Shawnee State of Oklahoma, according to the recorded plat thereof

**PROPERTY OWNER (S):** Robert J. Hardison Misty J. Hardison

**PROPERTY AGENT (APPLICANT):** Rob & Misty Hardison

**APPLICANT'S ADDRESS:** 1502 meadowbrook / 4707 NBU (mailing)

**CITY:** Prague **STATE** OK **ZIP** 74864

**EMAIL ADDRESS:** ms\_+122870@yahoo.com

**TELEPHONE NUMBER:** (405) 566 9531 **CONTACT NUMBER:** (405) 566 9531

**DIMENSIONS OF PROPERTY:** AREA \_\_\_\_\_ WIDTH \_\_\_\_\_  
LENGTH \_\_\_\_\_ FRONTAGE \_\_\_\_\_

**CURRENT ZONING:** C-4 **CURRENT USE:** \_\_\_\_\_

**PROPOSED ZONING:** C-4 w/cup **PROPOSED USE:** \_\_\_\_\_

With the filing of this application, I acknowledge that I have been informed of off-street parking, fencing and paving requirements in regard to the zoning I have requested as witnessed by my signature.

Misty J. Hardison  
**SIGNATURE OF APPLICANT**

(FOR STAFF USE ONLY)

Filed in the office of the Planning Department, 222 N. Broadway, this 28th day of January 20 14

Sheylene Kinosh  
**PLANNING COMMISSION SECRETARY**

**REZONING &/OR C.U.P FEE \$** 280.00  
**RECEIPT NO.** 01563946

**PLANNED UNIT DEVELOPMENT FEE \$** 550.00  
**SIGN DEPOSIT \$** 50.00

(Refundable if Applicant returns 48 hrs. after City Commission Meeting)

**PLANNING COMMISSION ACTION:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**CITY COMMISSION ACTION:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**PLACE ON ZONING MAP:** \_\_\_\_\_ **ORDINANCE NO.:** \_\_\_\_\_

6 West Main Shawnee, OK

Conditional Use Permit

We would like to bring our business to downtown Shawnee. We feel like it's a great environment for our art studio. We are applying for a conditional use permit so we can serve wine/mixed beverages to our painters as they attend our sessions. We would like to hold several evening, adult only sessions throughout the week and an alcohol free session Saturday afternoons to provide the community with family entertainment. We are also interested in renting out our facilities to host private parties such as, bridal parties, birthday parties, etc.

We intend on giving back to the community by providing tickets at discounted prices to local organizations for fundraising purposes.

STATE OF OKLAHOMA                    )  
  ) SS:  
COUNTY OF POTTAWATOMIE         )

**-: AFFIDAVIT OF BONDED ABTRACTOR :-**

The undersigned Bonded Abstractor in and for the aforesaid County and State does hereby certify that the following Ownership is true and correct according to the current year’s tax rolls in the Office of the County Treasurer of Pottawatomie County, Oklahoma, as updated by the records of the Office of the County Clerk of Pottawatomie County, Oklahoma; that the owners, as reflected by said records, are based on the last conveyance or final decree of record of certain properties located within 300 feet in all directions of the following described lands:

Lot 12, Block 24, AMENDED PLAT, to the City of Shawnee, Pottawatomie County, Oklahoma, according to the recorded plat thereof.

and find the following owners, addresses and brief legal descriptions on the attached pages numbered from One (1) to Three (3), both inclusive.

The Abstractor makes no representation or warranty, either expressed or implied, regarding the accuracy of the information contained in this report. The Abstractor does not guarantee the validity of the title of such parties nor is this report intended to guarantee title thereof. The liability of the Abstractor shall be based solely on contract and shall be limited to the price paid for the report by the customer. The parties agree that the Abstractor shall not be liable for consequential damages. Acceptance of the instrument constitutes acceptance of this limitation on liability.

EXECUTED at Shawnee, Oklahoma, this 8<sup>th</sup> day of January, 2014.

FIRST AMERICAN TITLE AND TRUST COMPANY

By *Teresa Southard*  
Teresa Southard, Licensed Abstractor #264

Order No. 1897867-SH99

# Ownership List

Order No. 1897867-SH99

Date January 8, 2014

Page No. 1

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## OWNER

### BRIEF LEGAL:

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City of Shawnee – P.O. Box 1448, Shawnee, OK 74802-1448

Lots 9 thru 24, Block 15 and Lots 10 & 11, Block 24 & Lots 11 thru 26, Block 28 & Beg. 58.4' S NW/C Lot 11; thence S along Beard St. 67.5' to point 21' N etc., Block 29, AMENDED PLAT to Shawnee

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Janus Ltd. – c/o Henson, Marshall & Milburn – P.O. Box 3488, Shawnee, OK 74802-3488

Lots 1 thru 4, Block 23, AMENDED PLAT to Shawnee

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Marison Properties, LLC – 124 N. Beard, Shawnee, OK 74801

Lots 5 thru 9, Block 23, AMENDED PLAT to Shawnee

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TDP Properties, LLC – 1101 W. 45<sup>th</sup>, Shawnee, OK 74804

Lots 10 & 11, Block 23, AMENDED PLAT to Shawnee

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Redbird Properties, LLC – 106 W. Main, Shawnee, OK 74801

Lot 12, Block 23, AMENDED PLAT to Shawnee

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One Thirty Broadway Association, LLC – P.O. Box 54469, Oklahoma City, OK 73154-1469

Lots 1 & 2, Block 24, AMENDED PLAT to Shawnee

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James T. Stuart and Michael D. Clover – P.O. Box 1925, Shawnee, OK 74802-1925

Lot 3, Block 24, AMENDED PLAT to Shawnee

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Nancy V. Wright – 126½ N. Broadway, Shawnee, OK 74801

Lot 4, Block 24, AMENDED PLAT to Shawnee

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Vivian Thornton – 124 N. Broadway, Shawnee, OK 74801

Lots 5 & 6, Block 24, AMENDED PLAT to Shawnee

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Russell Barr and Virginia Barr – 34900 Lake Road, Shawnee, OK 74801

Lot 7, Block 24, AMENDED PLAT to Shawnee

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William H. Atyia and Pamela L. Atyia – 118 N. Broadway, Shawnee, OK 74801

Lots 8 & 9, Block 24, AMENDED PLAT to Shawnee

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Robert C. Bivins and Velva A. Bivins – 1621 N. Beard, Shawnee, OK 74804

Lots 12 & 13, Block 24, AMENDED PLAT to Shawnee

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The Society for Revitalization of Downtown Shawnee, Inc. – 100 N. Bell, Suite 404, Shawnee, OK 74801

Lot 14, Block 24, AMENDED PLAT to Shawnee

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Dolores Kathleen Kilpatrick – P.O. Box 3665, Shawnee, OK 74802-3665

Lots 15 thru 17, Block 24, AMENDED PLAT to Shawnee

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J. C. Winterringer, Inc. – 22 W. Main, Shawnee, OK 74801

Lots 18, 19, 22, 22A and 24, Block 24, AMENDED PLAT to Shawnee

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FGR Properties, LLC – P.O. Box 3849, Shawnee, OK 74802-3849

Lots 20 thru 27, Block 24, AMENDED PLAT to Shawnee

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## Ownership List

Order No. 1897867-SH99

Date January 8, 2014

Page No. 2

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### OWNER

#### BRIEF LEGAL:

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Bowles-Patterson Holdings, LLC – 15 W. 9<sup>th</sup>, Shawnee, OK 74801

Lot 28, Block 24, AMENDED PLAT to Shawnee

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Shawnee Masonic Property, LLC – Attn: Warren Thomas - 2701 Liberty Parkway, Midwest City, OK 73110

Lots 1 thru 4, Block 25, AMENDED PLAT to Shawnee

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Otis H. Blaylock, Jr. – 124 N. Bell, Shawnee, OK 74801

Lot 5, Block 25, AMENDED PLAT to Shawnee

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Robert Howard Jones and Betty Jones – 122 N. Bell, Shawnee, OK 74801

Lot 6, Block 25, AMENDED PLAT to Shawnee

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Personnel Staffing of Stillwater, LLC – P.O. Box 2515, Ponca City, OK 74602

Lots 7 thru 8, Block 25, AMENDED PLAT to Shawnee

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Harry H. Diamond Incorporated – P.O. Box 336, Shawnee, OK 74802-0336

Lot 9, Block 25, AMENDED PLAT to Shawnee

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Federal National Building, LLC – 132 W. Main St., Purcell, OK 73080

Lots 12 & 13 & Lots 20 thru 22, Block 25, AMENDED PLAT to Shawnee

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Realan Properties, LLC – 1530 N. Harrison #215, Shawnee, OK 74804

W/2 Lot 14, Block 25, AMENDED PLAT to Shawnee

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Betty Sikes and Jackie Lynn Sikes – 34406 Hardesty Road, Shawnee, OK 74801

E/2 Lot 14, Block 25, AMENDED PLAT to Shawnee

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Sunset Canyon, LLC – 18708 Marys Road, Shawnee, OK 74801

Beg. SW/C Lot 14, Block 25, AMENDED PLAT to Shawnee; thence N 140'; thence W 20'; thence S 140'; thence E 20' to beg.

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Home Integration, Inc. – 1900 W. MacArthur, Shawnee, OK 74804

E/2 Lot 15, Block 25, AMENDED PLAT to Shawnee

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Amber Diane Tucker Irrevocable Trust – 11902 N. Penn #C-7, Oklahoma City, OK 73120

W/2 Lot 15, Block 25, AMENDED PLAT to Shawnee

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Dagiva Enterprises, Inc. – 1200 N. Broadway, Shawnee, OK 74801

Lot 16, Block 25, AMENDED PLAT to Shawnee

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Joe D. Snodgrass Trust – 1922 E. Walnut, Shawnee, OK 74801

Lot 17, Block 25, AMENDED PLAT to Shawnee

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Broadway Square, LLC – P.O. Box 309, Tecumseh, OK 74873

Lots 18 & 19, Block 25, AMENDED PLAT to Shawnee

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Parking Authority of the City of Shawnee – Shawnee, OK 74801

Lots 23 thru 28, Block 25, AMENDED PLAT to Shawnee

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# Ownership List

Order No. 1897867-SH99

Date January 8, 2014

Page No. 3

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OWNER

BRIEF LEGAL:

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Amanda N. Williams – 15½ Brookridge, Shawnee, OK 74804

Lot 5 & 20' vacated alley between Lots 5 & 6, Block 28, AMENDED PLAT to Shawnee

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John Sarapuchiello Trust – 3111 Bel Air Dr. 9B, Las Vegas, NV 89109

Lots 6 & 7, Block 28, AMENDED PLAT to Shawnee

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William S. Buoy, William Michael Buoy and Stephen M. Buoy – 331 W. Carl Hubbell Blvd.,  
Meeker, OK 74855

Lot 8, Block 28, AMENDED PLAT to Shawnee

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WM'S Properties, LLC – 1505 N. Broadway, Shawnee, OK 74804

Lot 9, Block 28, AMENDED PLAT to Shawnee

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Michael F. Cejka – c/o Luverne Ball – 15204 Rock Creek Road, Shawnee, OK 74801

N 100.50' Lot 10, Block 28, AMENDED PLAT to Shawnee

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Lotus Welk and Justin Talton – 37706 Waco Road, Shawnee, OK 74801

S 39.50' Lot 10, Block 28, AMENDED PLAT to Shawnee

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George E. Kursar – 1835 N. Beard, Shawnee, OK 74804

Lots 1 thru 4, Block 29, AMENDED PLAT to Shawnee

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Janmat Investments, LLC – P.O. Box 3932, Shawnee, OK 74802-3932

Lot 5, Block 29, AMENDED PLAT to Shane

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ASAR Corp. – 1010 E. MacArthur, Shawnee, OK 74804

Lots 6 thru 8 & 17A & 17B, Block 29, AMENDED PLAT to Shawnee

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Melba I. Bowlan – 5 Kaross Road, Shawnee, OK 74801

Lots 9 & 10, Block 29, AMENDED PLAT to Shawnee

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Shawnee Urban Renewal Authority – P.O. Box 1448, Shawnee, OK 74802-1448

Lots 11 thru 16, Block 29, AMENDED PLAT to Shawnee

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Vernie E. Ziegler and Diana R. Ziegler – 38409 Lake Road, Shawnee, OK 74801

Lots 1 & 2, Block 30, AMENDED PLAT to Shawnee

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ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE CONCERNING THE ZONING CLASSIFICATION OF THE FOLLOWING DESCRIBED PROPERTY LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF SHAWNEE, OKLAHOMA, TO-WIT: LOT 12, BLOCK 24, AMENDED PLAT, TO THE CITY OF SHAWNEE, POTTAWATOMIE COUNTY, OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF FROM C-4; CENTRAL BUSINESS TO C-4CUP; CENTRAL BUSINESS WITH CONDITIONAL USE PERMIT; AND AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SHAWNEE ACCORDINGLY.

WHEREAS, pursuant to notice duly given as required by law, a public hearing was conducted by the Board of Commissioners of the City of Shawnee, Oklahoma on the 17<sup>th</sup> day of March 2014, upon an application to grant a permissive use permit on property located in the City of Shawnee, Oklahoma to C-4P; Central Business with a Conditional Use Permit.

WHEREAS, the Planning Commission of the City of Shawnee has conducted one or more public hearings on said application pursuant to notice as required by law and has submitted its final report and recommendation upon said application to the Board of Commissioners; and

WHEREAS, it appears to be in the best interest of the City of Shawnee and the inhabitants thereof for said property to be rezoned as considered.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COMMISSIONERS OF THE CITY OF SHAWNEE, OKLAHOMA:

Section 1: That the following described property located in the City of Shawnee, Oklahoma, to-wit: Lot 12, Block 24, AMENDED PLAT, to the City of Shawnee, Pottawatomie County, Oklahoma, according to the recorded plat thereof be rezoned C-4CUP; Central Business with a Conditional Use Permit, and the official zoning map heretofore adopted is hereby amended as to include said property C-4CUP; Central Business with a Conditional Use Permit.

PASSED AND APPROVED this 17<sup>th</sup> day of March 2014.

\_\_\_\_\_  
WES MAINORD, MAYOR

ATTEST:

\_\_\_\_\_  
PHYLLIS LOFTIS, CMC, CITY CLERK



**Regular Board of Commissioners**

**12.**

**Meeting Date:** 03/17/2014

Final Plat #S02-14

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Consideration of approval of a Final Plat for North Harrison Street Business Park located at Harrison and Wolverine Road. Case #S02-14 Applicant: Redbud Development, LLC

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Attachments

Final Plat S02-14

RECOMMENDATION TO:

MAYOR  
BOARD OF CITY COMMISSIONERS  
CITY OF SHAWNEE

RECOMMENDATION FROM:

CITY OF SHAWNEE  
PLANNING COMMISSION

SUBJECT:

APPLICANT: Clayton Eads, Redbud Development, INC  
FOR: Final Plat  
LOCATION: Harrison & Wolverine Rd, Shawnee, OK  
PROJECT#: 140162 Case# S02-14

LEGAL DESCRIPTION:

SEE OWNERSHIP LIST

CURRENT CLASSIFICATION:

I-2; Light Industrial

REQUESTED CLASSIFICATION:

N/A – Plat

PROPOSED PROPERTY USE:

Commercial/Industrial

PLANNING COMMISSION MEETING DATE:

03-05-2014

PLANNING COMMISSION RECOMMENDATION:

Approval with following conditions:

1. Corrections to the Final Plat dimensional calculations shall be made and approved by the City Engineer prior to recording of the Final Plat.
2. The 100-year FEMA Floodplain shall be labeled and the area noted as "Outlot A" on the final plat submitted for recording.
3. Right-of-way shall be provided and shown as fifty (50') feet along the entire frontage of Wolverine Road, including adjacent to the floodplain.
4. Revised stormwater calculations must be submitted and shall be approved by the City Engineer prior to construction.
5. The waterline location along Wolverine Road shall be revised to be within 5 feet of the property line instead of the location shown on the Final Plat.
6. Construction of public and other site improvements shall be in accordance with the engineering plans reviewed and approved by the City Engineer. Revised plans will be necessary to address conditions herein.
7. A six-foot sidewalk shall be installed along Harrison Street.
8. Public improvements shall be installed or otherwise bonded for prior to recording of the Final Plat.
9. All other applicable City standards apply and no variances are hereby approved.

VOTE OF THE PLANNING COMMISSION:

**MEMBERS PRESENT:** 6

MEMBERS:	1ST	2ND	AYE	NAY	ABSTAIN	COMMENTS
BERGSTEN		X	X			
CARTER			X			
HOSTER			X			
TURNER (CHAIRMAN)			X			
SILVIA (VICE-CHAIRMAN)	X		X			
COWEN			X			
SALTER						<b>Absent</b>

RESPECTFULLY SUBMITTED,

*Cheyenne Lincoln*

SECRETARY, PLANNING COMMISSION

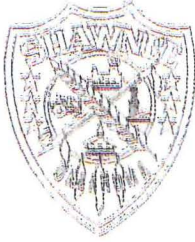
ACTION BY CITY COMMISSION:

PUBLIC HEARING SET: \_\_\_\_\_

DATE OF ACTION: \_\_\_\_\_

ADOPTED \_\_\_\_\_ DENIED \_\_\_\_\_

ORDINANCE NO. \_\_\_\_\_



**City of Shawnee**  
Community Development Department  
222 N. Broadway  
Shawnee, OK 74801  
(405) 878-1665 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

**STAFF REPORT**  
**North Harrison Street Business Park, Final Plat**  
**Case #S02-14**

TO: Shawnee Planning Commission  
AGENDA: March 5, 2014  
RE: 8331 North Harrison Street Business Park, Final Plat

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**PROPOSAL**

The applicant is requesting Final Plat approval for 5 Lots on 18.19 acres to facilitate light industrial development on some of the proposed lots. The property is located at 8331 North Harrison St, at the northeast corner of North Harrison and Wolverine Rd. The property has been rezoned to I-2, Light Industrial (October 3, 2012). A single-family residence is located on the property.

**GENERAL INFORMATION**

<b>Applicant</b>	Redbud Development LLC
<b>Owners</b>	Clayton Eads
<b>Site Location/Address</b>	<i>See Figure 1</i>
<b>Current Site Zoning</b>	I-2, Light Industrial
<b>Parcel Size</b>	18.19 acres
<b>Proposed Use</b>	Commercial/Industrial
<b>Comprehensive Plan Designation</b>	Commercial/Industrial
<b>Existing Land Use</b>	Agricultural
<b>Surrounding Proposed Land Use</b>	<u>North</u> : Commercial/Residential <u>South</u> : Commercial/Residential <u>West</u> : Commercial/Residential

	East: Commercial/Residential
<b>Surrounding Zoning</b>	<u>North:</u> I-2 <u>South:</u> A-1 <u>West:</u> A-1 <u>East:</u> A-1 and I-3



**Figure 1:** Aerial view of site – approximate total area outlined in red.

## STAFF REVIEW AND ANALYSIS

The subject property is 18.19 acres in size and is currently zoned I-2, Light Industrial. The Preliminary Plat was approved, with conditions, on the October 3, 2012 Planning Commission agenda. The applicant has since made appropriate changes and is submitting for Final Plat approval. The intended use of the property, located at 8331 North Harrison Street, is for the construction of a storage facility and adjoining buildings on Lot 2 abutting Harrison Street. Lot 1, also along Harrison Street, proposes a stormwater detention pond. Three (3) Additional lots are planned off of Wolverine Road. Staff has reviewed the Final Plat request and notes conditions for approval.

The Final Plat is substantially similar to the Preliminary Plat, with the following noted differences:

1. The Final Plat proposes a change from nine (9) lots to five (5) lots.

2. The applicant has reconfigured all lots, removing them from the FEMA-designated floodplain.
3. A proposed sidewalk has been included along Harrison Street, as required.
4. The phasing aspect of the project has been removed.

Since the project lies outside of the regulated floodplain, it is now in conformance with the City regulations.

According to the North Harrison Street Site Plan, Lot 2, located at the North-West corner of the site, will be developed as storage units. With respect to utilities, the site has access to sewer with a 15 inch line running through the middle of the property and has access to an 8 inch line fronting on Harrison. Utilities will be extended to the proposed lots on site in accordance with City requirements.

The technical aspects of the Final Plat have been reviewed by the City Engineer and other appropriate staff. Because of the conditioned changes required during the Preliminary Plat approval, Staff does recommend approval of the Final Plat, with further conditions.

#### **STAFF RECOMMENDATION**

Staff recommends approval of the North Harrison Street Business Park, Final Plat, subject to the following conditions:

1. Corrections to the Final Plat dimensional calculations shall be made and approved by the City Engineer prior to recording of the Final Plat.
2. The 100-year FEMA Floodplain shall be labeled and the area noted as “Outlot A” on the final plat submitted for recording.
3. Right-of-way shall be provided and shown as fifty (50’) feet along the entire frontage of Wolverine Road, including adjacent to the floodplain.
4. Revised stormwater calculations must be submitted and shall be approved by the City Engineer prior to construction.
5. The waterline location along Wolverine Road shall be revised to be within 5 feet of the property line instead of the location shown on the Final Plat.
6. Construction of public and other site improvements shall be in accordance with the engineering plans reviewed and approved by the City Engineer. Revised plans will be necessary to address conditions herein.
7. A six-foot sidewalk shall be installed along Harrison Street.
8. Public improvements shall be installed or otherwise bonded for prior to recording of the Final Plat.
9. All other applicable City standards apply and no variances are hereby approved.

#### **Attachments**

1. Preliminary Plat
2. Final Plat

FINAL PLAT APPLICATION FOR THE CITY OF SHAWNEE

Please provide a submittal letter, 6-24 X 36 maps, 1-8 1/2 x 14 map, 1 electronic map and filing fees upon submitting this application. Please call 878-1665 with any questions.

APPLICANT REDBUD DEVELOPMENT, LLC

APPLICANT ADDRESS 106 HUNTINGTON CT. SHAWNEE, OK 74801

APPLICANT PHONE NUMBERS 405-760-2880 or 405-275-6716

EMAIL ADDRESS chefour@aol.com

NAME OF PLAT NORTH HARRISON STREET BUSINESS PARK

LOCATION HARRISON AND WOLVERINE ROAD

NUMBER OF ACRES 6.49 ± -TRACT#1 NUMBER OF LOTS 2  
3.42 ± -TRACT#2 3

FOR 2 ACRE LOTS OR GREATER DEVELOPMENTS: FEE: \$325.00

PLUS \$3.00 PER LOT UP TO FIFTY (50) LOTS NUMBER OF LOTS 5 \$15.00

PLUS \$1.00 PER LOTS OVER FIFTY (50) LOTS NUMBER OF LOTS \_\_\_\_\_

RECEIVED  
FEB 10 2014

TOTAL COST \$340.00

FOR LESS THAN 2 ACRE LOTS: FEE: \$325.00

PLANNING / CODE

PLUS \$2.00 PER LOT UP TO FIFTY (50) LOTS NUMBER OF LOTS \_\_\_\_\_

PLUS \$1.00 PER LOTS OVER FIFTY (50) LOTS NUMBER OF LOTS \_\_\_\_\_

TOTAL COST: \_\_\_\_\_

**OWNER/DEVELOPER INFORMATION:**

NAME MR. CLAYTON H. EADS, REDBUD DEVELOPMENT, LLC

ADDRESS 106 HUNTINGTON CT. SHAWNEE, OK 74801

CONTACT NUMBERS 405-760-2880 or 405-275-6716

EMAIL ADDRESS chefour@aol.com

**PROJECT ENGINEER INFORMATION:**

NAME LANDES ENGINEERING LLC & ASSOCIATES

ADDRESS 903 E. 35th STREET SHAWNEE, OK 74802

CONTACT NUMBERS BETH WILHELM - 405-420-5246

EMAIL ADDRESS bwilhelm@landesengineering.net

FOR STAFF USE ONLY

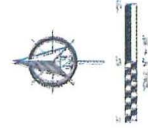
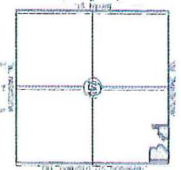
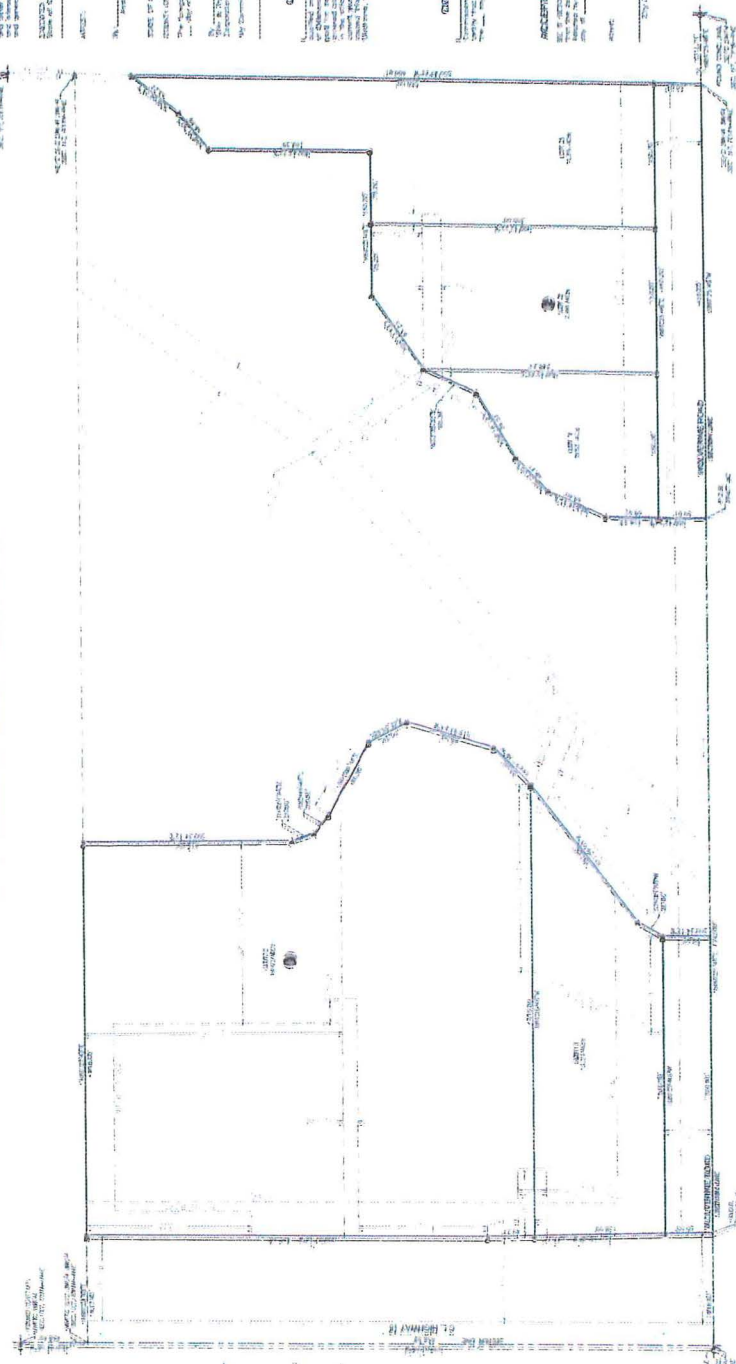
PROJECT NUMBER: 140162 CASE NUMBER: 502-14

DATE: 02-11-14 AMOUNT PAID: 340.00 RECEIPT NO. 01568863

# PRINIPAL PLAN

## NORTH HARRISON STREET BUSINESS PARK

A PART OF THE S/2 SW/4 SW/4  
OF SECTION 17, TOWNSHIP 113 NORTH, RANGE 4 EAST OF THE 101,  
CITY OF SHAWNEE, POTTAWATOMIE COUNTY, OKLAHOMA.



1" = 100' FEET  
 1" = 100' FEET  
 1" = 100' FEET  
 1" = 100' FEET

**APPROVED ARCHITECTURAL DRAWINGS**  
 The undersigned, a duly licensed architect, hereby certifies that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed architect in the State of Oklahoma.

**APPROVED ENGINEERING DRAWINGS**  
 The undersigned, a duly licensed engineer, hereby certifies that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed engineer in the State of Oklahoma.

**APPROVED SURVEYING DRAWINGS**  
 The undersigned, a duly licensed surveyor, hereby certifies that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed surveyor in the State of Oklahoma.

**COUNTY TREASURER CERTIFICATE**  
 I, the undersigned, County Treasurer, do hereby certify that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed County Treasurer in the State of Oklahoma.

**CITY PLANNING COMMISSION APPROVAL**  
 The undersigned, City Planning Commission, do hereby certify that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed City Planning Commission in the State of Oklahoma.

**ACCEPTANCE OF RECORDS BY CITY COMMISSION**  
 The undersigned, City Commission, do hereby certify that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed City Commission in the State of Oklahoma.

**CERTIFICATE OF CITY CLERK**  
 The undersigned, City Clerk, do hereby certify that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed City Clerk in the State of Oklahoma.

**RECORDING INFORMATION**  
 The undersigned, Recorder, do hereby certify that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed Recorder in the State of Oklahoma.

**OWNER'S CERTIFICATE**  
 The undersigned, Owner, do hereby certify that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed Owner in the State of Oklahoma.

**PLANNING COMMISSION APPROVAL**  
 The undersigned, Planning Commission, do hereby certify that the drawings hereon are true and correct copies of the original drawings as prepared by me or under my direct supervision and control, and that I am a duly licensed Planning Commission in the State of Oklahoma.

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**Regular Board of Commissioners**

**13.**

**Meeting Date:** 03/17/2014

PUD P04-14

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Public hearing and consideration of approval of a Planned Unit Development located at the SWQ of I-40 and Kickpoo Street in C-3 zoning for commercial use. Case #P04-14 Applicant: Cates-Clark & Associates, LLP

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Attachments

PUD I-40 & North Kickapoo

Ordinance P04-14

RECOMMENDATION TO:

MAYOR  
BOARD OF CITY COMMISSIONERS  
CITY OF SHAWNEE

RECOMMENDATION FROM:

CITY OF SHAWNEE  
PLANNING COMMISSION

SUBJECT:

APPLICANT: Cates-Clark & Associates, LLP (Daniel Stewart)  
FOR: Planned Unit Development  
LOCATION: SWQ of Interstate 40 & Kickapoo St, Shawnee, OK  
PROJECT#: 140156 Case# P04-14

LEGAL DESCRIPTION:

SEE OWNERSHIP LIST

CURRENT CLASSIFICATION: C-3; Automotive and Commercial Recreation District  
REQUESTED CLASSIFICATION: Planned Unit Development  
PROPOSED PROPERTY USE: Commercial

PLANNING COMMISSION MEETING DATE: 03-05-2014

PLANNING COMMISSION RECOMMENDATION: Approval with following conditions:

1. Detailed construction drawings shall be submitted and approved by the City Engineer prior to consideration of the Final Plat.
2. The requirements and conditions of the City Engineer as detailed in his February 26, 2014 memorandum (Exhibit 3) shall be met and shall be so shown on the above-noted construction plans (Condition #1) and/or Final Plat as dictated.
3. These conditions shall override any deviation proposed in the Planned Unit Development Master Plan or Design Statement.
4. Lot 9 is approved on the Preliminary Plat and PUD Master Plan as conceptual only. Final site layout, ingress/egress onto 45<sup>th</sup> Street, timing of traffic signalization, parking lot configuration, internal sidewalks, landscaping, building layout and circulation, and all other details will be specifically addressed during the Final Plat of Lot 9 when additional design details are known.
5. Approval of the Planned Unit Development and Preliminary Plat shall not be construed as approval of any specific layout or configuration unless otherwise conditioned herein. Construction drawings, final plat, and building plan submittals may differ from conceptual layout as required by the City.
6. Sidewalks are required along 45<sup>th</sup> Street, the internal public collector road, and associated public drives concurrent with development. Sidewalks shall also be installed along the main access-way to the shopping center complex planned for Phase 1. Sidewalk layout shall be reviewed and approved as part of the construction plan and Final Plat process.
7. Lots 4-8 shall be developed to include a pedestrian connection (sidewalk) from each lot to the existing public sidewalk along Kickapoo Street concurrent with individual site development.
8. A notation on the Final Plat shall read "limits of no access" along the Kickapoo Street frontage of Lots 4-8. No additional driveways along Kickapoo Street are permitted, except the main access road between Lot 4 and Lot 5.

9. Roadway improvements (public collector) may be phased for Lots 5-8 as development occurs on each lot (Figure 4), provided that:
  - a. Development on Lot 8 will require improvements to both 46<sup>th</sup> Street and the new public collector street.
  - b. Should Lot 6 or Lot 7 develop (internal lots) before Lot 5 or Lot 8, the entire collector street and 46<sup>th</sup> Street improvement will be required to ensure proper circulation.
10. The public roadway between Lot 4 and Lot 5 shall be constructed concurrent with construction on Lot 1 or Lot 2 and the existing driveway between *Delta Cafe* and *Whataburger* shall be widened and the existing traffic signal upgraded (Figure 5). The applicant/developer shall also install a traffic signal meeting City specifications at the intersection of the new drive and Kickapoo Street, prior to occupancy for any building on Lot 1 or Lot 2.
11. Signage standards shall be approved as follows:
  - a. The *Master Site Plan – Sign Exhibit* is hereby approved as presented, subject to any other conditions herein. Said Plan shall be the controlling document for allowable height, square footage, number and general spacing of signs.
  - b. Attached signs shall be reviewed according to the signage standards applicable to the C-3 zoning district. No deviations to attached signage standards are approved.
  - c. No flashing or intermittently-lit signs are permissible. Signs may be internally lit.
  - d. The maximum height of all proposed free-standing signs shall be as indicated on the Master Site Plan – Sign Exhibit.
  - e. The existing billboard (non-accessory sign) located on proposed Lot 6 shall be removed prior to construction on Lot 6.
12. The Planned Unit Development Design Statement shall be amended as needed to be in conformance with these conditions and submitted to the City for acceptance.
13. The spacing requirement between drives may be reduced to 60-feet on Lot 1 and Lot 2 as indicated on Figure 6.
14. The required parking ratio, building coverage ratio, minimum lot frontage and front-yard setback shall be as indicated in the Planned Unit Development Design Statement.
15. The driveway locations on Lot 4 and Lot 5 shall meet City spacing requirements and shall be reviewed during the building permit process when a specific site design is known. The locations indicated on the Master Plan are not permitted at present (Figure 7).
16. Appropriate public easements and/or dedications shall be obtained by the developer from the Oklahoma Commissioners of the Land Office (CLO) to effectuate Phase 1 and Phase 2 development, City conditions imposed, and to ensure the potential continuation of public improvements to facilitate development to the west. Such easements and dedications shall be submitted concurrent with Final Plat submittal.
17. The approved PUD and conditions herein shall terminate at the written request of the Oklahoma Commissioners of the Land Office if Hunt Properties does not proceed with Phase 1 of the project.
18. Phase 2 of the Shawnee Marketplace PUD shall revert to the base zoning of C-3 upon written request of the Oklahoma Commissioners of the Land Office, in which case, the PUD Master Plan and Design Statement and these conditions shall have no binding authority on the property.

VOTE OF THE PLANNING COMMISSION:

MEMBERS PRESENT: 6

MEMBERS:	1ST	2ND	AYE	NAY	ABSTAIN	COMMENTS
BERGSTEN			X			
CARTER			X			
HOSTER			X			
TURNER (CHAIRMAN)			X			
SILVIA (VICE-CHAIRMAN)	X		X			
COWEN		X	X			
SALTER						Absent

RESPECTFULLY SUBMITTED,

*Cheyenne Lincoln*

SECRETARY, PLANNING COMMISSION

ACTION BY CITY COMMISSION:

PUBLIC HEARING SET: \_\_\_\_\_

DATE OF ACTION: \_\_\_\_\_

ADOPTED \_\_\_\_\_ DENIED \_\_\_\_\_

ORDINANCE NO. \_\_\_\_\_



**City of Shawnee**  
**Community Development Department**  
222 N. Broadway  
Shawnee, OK 74801  
(405) 878-1665 Fax (405) 878-1587  
[www.ShawneeOK.org](http://www.ShawneeOK.org)

**Shawnee Marketplace**

Combined Staff Report  
Planned Unit Development – Case #P04-14  
Preliminary Plat – Case #S01-14

**TO:** Shawnee Planning Commission  
**AGENDA:** March 5, 2014  
**RE:** Shawnee Marketplace Development (PUD/Plat)

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**I. SUMMARY OF PROPOSAL**

The applicant requests Planned Unit Development (PUD) and Preliminary Plat approval for a commercial development consisting of approximately 42 acres. The proposed development is to occur in two phases. Phase 1 includes around 19.4 acres and as shown, around 144,500 square feet of commercial (retail and restaurant) development is planned. A total of nine (9) lots are proposed, with seven (7) lots being developed as part of the first phase. The property is currently zoned C-3, which permits a wide variety of intensive commercial development. Adjacent land uses include numerous commercial uses, vacant land and residential properties. The project site is located along the 4500 block of North Kickapoo Street, south of Interstate 40, west of Kickapoo Street and north of 45<sup>th</sup> Street.

**II. BASIC SITE INFORMATION**

<b>Property Owner</b>	State of Oklahoma – Commissioners of the Land Office (CLO) Contract Purchaser/Developer: Hunt Properties, Inc., Dallas, TX (Phase 1)
<b>Project Engineer/Applicant</b>	Cates-Clark & Associates, LLP, Dallas, TX.
<b>Site Location/Address</b>	North / Northwest of the Intersection of 45 <sup>th</sup> Street and Kickapoo, south of I-40, west of Kickapoo See Figure 1
<b>Current Site Zoning</b>	C-3: Commercial (Figure 2)
<b>Parcel Size</b>	Total: 42.27 acres

	Phase 1: 19.4 acres Phase 2: 22.87 acres
<b>Proposed Zoning</b>	Planned Unit Development (PUD)
<b>Proposed Use</b>	Commercial (retail, restaurant, etc.)
<b>Comprehensive Plan Designation</b>	Commercial, Commercial/Residential
<b>Existing Land Use</b>	Vacant/Undeveloped
<b>Surrounding Land Use</b>	<u>North</u> : Interstate 40, Commercial <u>South</u> : Residential, Commercial <u>West</u> : Undeveloped, vacant <u>East</u> : Commercial
<b>Surrounding Zoning</b>	<u>North</u> : C-3, A-1 <u>South</u> : C-3, R-1 <u>West</u> : C-3 <u>East</u> : C-3

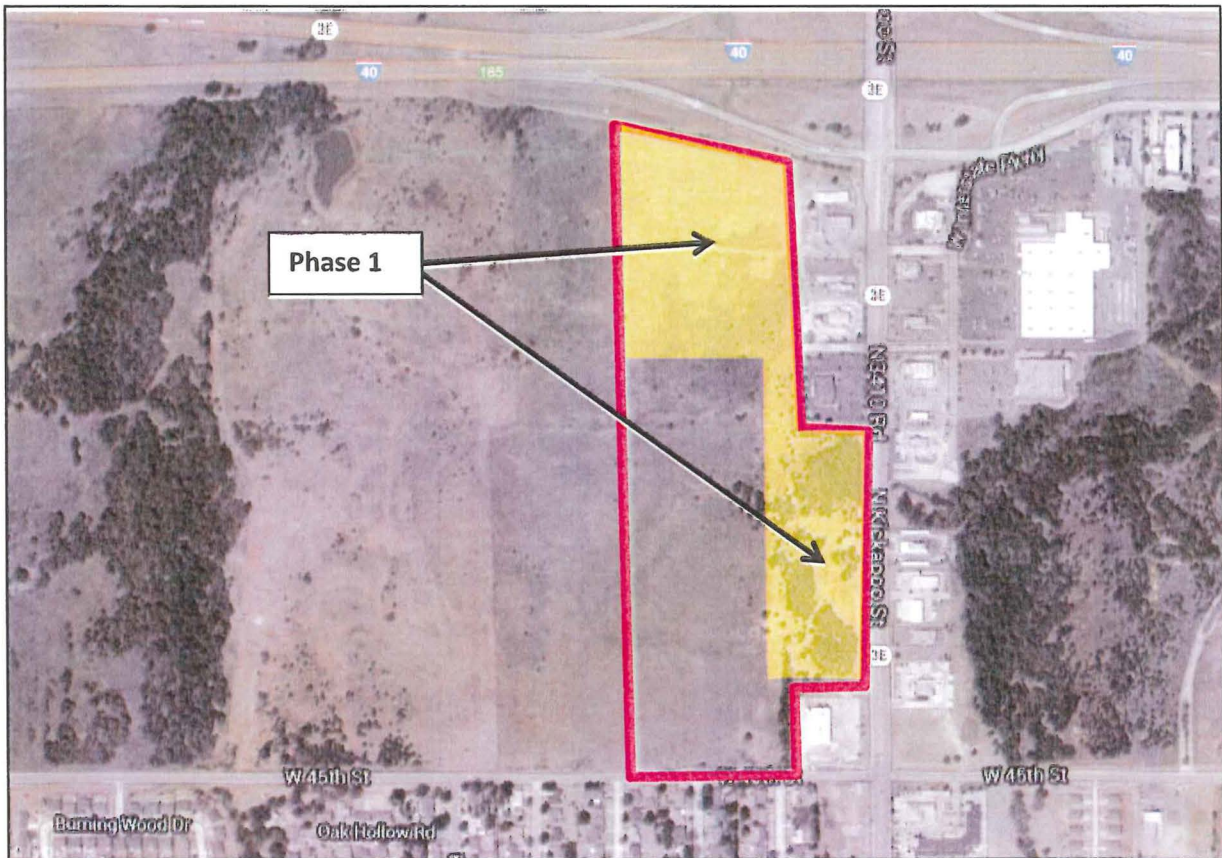


Figure 1: Approximate development area outlined in red, with Phase 1 in yellow.



Figure 2: Zoning map of subject (in red) and surrounding property.

**III. PROJECT REVIEW**

**Planned Unit Development**

A PUD is a special zoning district that applies a master development plan to a specific property. A PUD differs from conventional development in several key aspects. First, a PUD tends to be a larger-scale development and may also include the mixing of uses and/or densities. Consistent and unified design is a key factor and development is generally more tightly controlled than under conventional development scenarios. In exchange for master planning, consistent design and innovative approaches, applicants may be granted special exceptions and deviations, which would under normal circumstances, require a variance or not be allowed at all.

A planned unit development consists of a Master Development Plan Map (same or similar to preliminary plat) and a Design Statement (detailed project narrative). Approval of a PUD adopts the master plan prepared by the applicant and replaces any previous zoning district classification on the parcel. The applicant has included the required design statement and development plan maps (Exhibit 1).

According to the applicant, the concept for the Shawnee Marketplace PUD is a “unified shopping center that provides a wide range of goods and services to the City of Shawnee from national, regional and local businesses. The unified development concept will allow for more efficient development and improved traffic flow through the site.” The size and scope of the shopping center are likely best addressed through the PUD planning process. The applicant/developer is proposing a complimentary building design that will “incorporate strong forms, permanence, and concepts that translate buildings across the center.” Unifying design elements such as “stone materials, lighting fixtures, and landscaping materials will unify the PUD concept.”

Figure 3 provides a conceptual view of what some of the storefronts in Phase 1 may look like. It is Staff’s opinion that the proposed building design exceeds minimum aesthetic code standards and provided that the overall site is unified as proposed with landscaping, lighting and other design elements, the proposed Shawnee Marketplace will provide a unique regional shopping destination and experience.



Figure 3: Conceptual building design and sample façades.



The submitted Planned Unit Development proposes the following deviations from City standards:

#### Building Coverage Ratio

The applicant proposes an overall building coverage ratio of 30 percent and an allowance that individual sites may have a coverage ratio of up to 35 percent.

#### Parking and Circulation

The applicant is proposing approximately 777 parking spaces as part of the first phase, where 624 would normally be required under C-3 zoning specifications. The PUD Design Statements notes that an allowance for retail uses to utilize a parking ratio of 1:250 (one space per 250 square feet of building area) as opposed to the standard 1:200 for shopping centers as required by the Zoning Code. Restaurant uses would meet the standard code requirement. The applicant is also requesting slight modification to driveway spacing requirements to accommodate a particular parking lot design that includes driveways spaced 60 feet apart instead of the required spacing of 75 feet.

#### Signage

As part of the proposed Planned Unit Development, the applicant has supplied a Master Sign Plan indicating a comprehensive free-standing sign scheme. The project site is large and has frontage on three main roadways: Kickapoo Street, 45<sup>th</sup> Street and Interstate 40. The total frontage is approximately 2,303 feet. Under the C-3 Zoning Signage Standards, free-standing signs may be constructed at a ratio of two square feet of sign area per linear foot of frontage. Thus, the maximum total allowable sign area is around 4,606 square feet. That square footage can be spread to multiple free-standing signs, provided that each sign is spaced 150 feet apart. This could theoretically result in a maximum of 14 free-standing signs along the three frontages.

As proposed, the applicant wishes to construct 10 signs, five of which will be small tenant signs of 54-90 square feet each. The proposed total signage area is 2,045-2,225 square feet, which is less than half of the potential maximum allowable signage. Four 40-foot large joint-tenant signs are proposed, three along Kickapoo Street and one along the I-40 frontage. The larger signs do not exceed 400 square feet, and accordingly, are no larger than the maximum permissible sign in the C-3 zoning district. One 20-foot joint-tenant sign is proposed along 45<sup>th</sup> Street. Each commercial tenant along the Kickapoo Street frontage would be allowed one smaller free-standing sign.

#### Lot Dimensions

As proposed, all lots will exceed minimum lot size standards for C-3 zoning. There does not appear to be the potential for any setback conflicts. The applicant is requesting that the minimum street frontage requirement (60 feet) not apply and that the front-yard setback for internal lots be 10 feet. Staff notes that as conditioned, the public access drive will be a public street and thus all lots will have public street frontage. That stated, Staff has no objection to the proposed allowances as they do provide some flexibility for development, especially on the second phase.

## **Preliminary Plat**

The applicant is simultaneously seeking preliminary plat and Planned Unit Development approval. A total of nine (9) lots are proposed (Exhibit 2). Lots 1-2 and Lots 4-8 are part of the first phase and total around 19.4 acres. Lot 9 and Lot 3 are part of Phase 2 and are around 22.87 acres in size.

The proposed lot configurations are consistent with both the C-3 zoning standards and any modifications requested as part of the Planned Unit Development. The preliminary plat submittal is of sufficient quality for Staff to recommend conditional approval, subject to revised plans and construction drawings being submitted prior to Final Plat approval.

Public utilities exist along the Kickapoo Street and 45<sup>th</sup> Street and will be extended throughout the project site. Extensions to City water and sewer lines are proposed as is a proposed public stormwater line. Private stormwater detention ponds are proposed. A temporary detention pond will be utilized for Phase 1 development, with two large detention facilities planned for Phase 2 (on Lot 9).

The City Engineer has reviewed the proposed utility and stormwater layout and details and will require additional review concurrent with preparation of construction drawings and submittal of the Final Plat (see Conditions 1-2).

## **Other Considerations**

### Traffic and Circulation

The City of Shawnee commissioned a Traffic Impact Analysis in February 2014 for the proposed development. The report was prepared by Traffic Engineering Consultants, Inc. a firm from Oklahoma City. The analysis considered full-build out of the site, which includes 20,700 square feet of restaurant space and 355,085 square feet of commercial retail land uses. Current traffic data was examined along with future expected traffic in the year 2025. Level-of-service ratings were established at key points along the impacted transportation network. According to the Traffic Impact Analysis, all intersections are expected to operate at acceptable levels-of-service. However, some "very long delays" during peak-hour traffic are expected at some key intersections. To mitigate for said delays and provide an improved circulation network, the analysis recommends the following improvements:

- A. Construct a raised median in the vicinity of the northernmost drive (Circle K) which creates a "right in" "right out" scenario for southbound traffic on the west side of Kickapoo. Left-turn traffic would utilize the new collector street to access the traffic signal at Lowe's.
- B. Make upgrades to the Lowe's Drive traffic signal and street geometry (widen the road).
- C. Install of a traffic signal at the Kickapoo Street intersection of the proposed drive between proposed Lot 4 and proposed Lot 5 (Popeye's to the east) and related design details relative to turn lanes, drive widths, etc.
- D. Installation of a traffic signal at 45<sup>th</sup> Street and Aydelotte Avenue.

Because the proposed development is to be phased, Staff has identified improvements that need to be made more immediately and those that can wait until future development.

## Neighborhood Impacts

Phase 1 of the project is not within close proximity to any residential neighborhoods. Existing development at the intersection of 45<sup>th</sup> Street and Kickapoo is already substantial, with commercial activity at all four corners. Phase II of the proposed development is within close proximity to the Bison Addition located south of 45<sup>th</sup> Street. Impacts to the adjacent residential area can be mitigated via limitations to lighting, signage and enhancements such as landscaping and sidewalks. Traffic impacts will be mitigated through the installation of a traffic signal at 45<sup>th</sup> Street and Aydelotte Avenue when Phase 2 is developed at a future date.

Conditions are recommended to ensure neighborhood compatibility and livability, and protect public health, safety and welfare.

## **IV. STAFF FINDINGS**

Staff makes the following findings relative to the proposed Shawnee Marketplace Preliminary Plat and Planned Unit Development:

1. The applicant submitted applications for Preliminary Plat and Planned Unit Development approval on January 7, 2014 and February 10, 2014 respectively.
2. Proper legal notice was provided as required by statute for the requested Planned Unit Development rezone. A public hearing notice was posted on the property on February 14, 2014 and notice was mailed to surrounding property owners on February 12, 2014. The legal notice was published in the Shawnee News-Star on February 16, 2014.
3. City utilities are adjacent to the subject property and the applicant proposes extending said utilities to serve the development.
4. The proposed development will generate a substantial amount of vehicle trips and roadway improvements are needed to mitigate the impact.
5. Approval of a Planned Unit Development for the subject site is the best way to ensure unified site design and development. It is a preferred alternative to piecemeal lot development and conventional zoning.
6. The proposed modifications and deviations to City of Shawnee code are limited, deemed minor in scope, and are consistent with the intent of the planned unit development process.
7. The Shawnee Marketplace Preliminary Plat is in conformance with the City of Shawnee subdivision regulations and the proposed Planned Unit Development standards, subject to recommended conditions.

## **V. STAFF RECOMMENDATION**

Staff recommends **approval** of the Shawnee Marketplace Planned Unit Development and Preliminary Plat, subject to the following conditions:

1. Detailed construction drawings shall be submitted and approved by the City Engineer prior to consideration of the Final Plat.
2. The requirements and conditions of the City Engineer as detailed in his February 26, 2014 memorandum (Exhibit 3) shall be met and shall be so shown on the above-noted construction plans (Condition #1) and/or Final Plat as dictated.

3. These conditions shall override any deviation proposed in the Planned Unit Development Master Plan or Design Statement.
4. Lot 9 is approved on the Preliminary Plat and PUD Master Plan as conceptual only. Final site layout, ingress/egress onto 45<sup>th</sup> Street, timing of traffic signalization, parking lot configuration, internal sidewalks, landscaping, building layout and circulation, and all other details will be specifically addressed during the Final Plat of Lot 9 when additional design details are known.
5. Approval of the Planned Unit Development and Preliminary Plat shall not be construed as approval of any specific layout or configuration unless otherwise conditioned herein. Construction drawings, final plat, and building plan submittals may differ from conceptual layout as required by the City.
6. Sidewalks are required along 45<sup>th</sup> Street, the internal public collector road, and associated public drives concurrent with development. Sidewalks shall also be installed along the main access-way to the shopping center complex planned for Phase 1. Sidewalk layout shall be reviewed and approved as part of the construction plan and Final Plat process.
7. Lots 4-8 shall be developed to include a pedestrian connection (sidewalk) from each lot to the existing public sidewalk along Kickapoo Street concurrent with individual site development.
8. A notation on the Final Plat shall read "limits of no access" along the Kickapoo Street frontage of Lots 4-8. No additional driveways along Kickapoo Street are permitted, except the main access road between Lot 4 and Lot 5.
9. Roadway improvements (public collector) may be phased for Lots 5-8 as development occurs on each lot (Figure 4), provided that:
  - a. Development on Lot 8 will require improvements to both 46<sup>th</sup> Street and the new public collector street.
  - b. Should Lot 6 or Lot 7 develop (internal lots) before Lot 5 or Lot 8, the entire collector street and 46<sup>th</sup> Street improvement will be required to ensure proper circulation.
10. The public roadway between Lot 4 and Lot 5 shall be constructed concurrent with construction on Lot 1 or Lot 2 and the existing driveway between *Delta Cafe* and *Whataburger* shall be widened and the existing traffic signal upgraded (Figure 5). The applicant/developer shall also install a traffic signal meeting City specifications at the intersection of the new drive and Kickapoo Street, prior to occupancy for any building on Lot 1 or Lot 2.
11. Signage standards shall be approved as follows:
  - a. The *Master Site Plan – Sign Exhibit* is hereby approved as presented, subject to any other conditions herein. Said Plan shall be the controlling document for allowable height, square footage, number and general spacing of signs.

- b. Attached signs shall be reviewed according to the signage standards applicable to the C-3 zoning district. No deviations to attached signage standards are approved.
  - c. No flashing or intermittently-lit signs are permissible. Signs may be internally lit.
  - d. The maximum height of all proposed free-standing signs shall be as indicated on the Master Site Plan – Sign Exhibit.
  - e. The existing billboard (non-accessory sign) located on proposed Lot 6 shall be removed prior to construction on Lot 6.
12. The Planned Unit Development Design Statement shall be amended as needed to be in conformance with these conditions and submitted to the City for acceptance.
  13. The spacing requirement between drives may be reduced to 60-feet on Lot 1 and Lot 2 as indicated on Figure 6.
  14. The required parking ratio, building coverage ratio, minimum lot frontage and front-yard setback shall be as indicated in the Planned Unit Development Design Statement.
  15. The driveway locations on Lot 4 and Lot 5 shall meet City spacing requirements and shall be reviewed during the building permit process when a specific site design is known. The locations indicated on the Master Plan are not permitted at present (Figure 7).
  16. Appropriate public easements and/or dedications shall be obtained by the developer from the Oklahoma Commissioners of the Land Office (CLO) to effectuate Phase 1 and Phase 2 development, City conditions imposed, and to ensure the potential continuation of public improvements to facilitate development to the west. Such easements and dedications shall be submitted concurrent with Final Plat submittal.
  17. The approved PUD and conditions herein shall terminate at the written request of the Oklahoma Commissioners of the Land Office if Hunt Properties does not proceed with Phase 1 of the project.
  18. Phase 2 of the Shawnee Marketplace PUD shall revert to the base zoning of C-3 upon written request of the Oklahoma Commissioners of the Land Office, in which case, the PUD Master Plan and Design Statement and these conditions shall have no binding authority on the property.

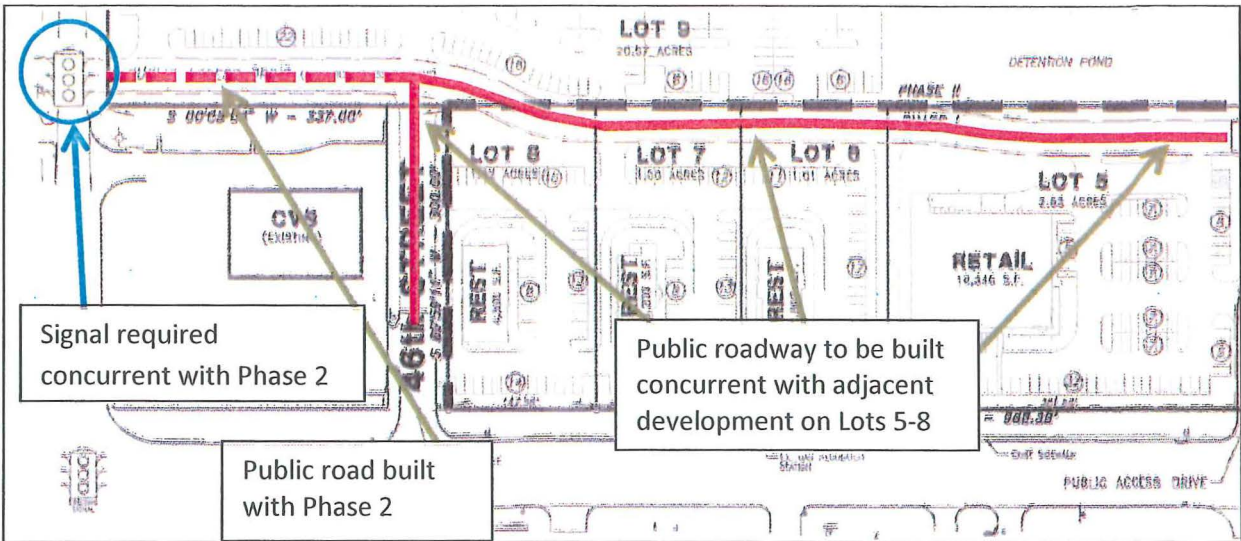


Figure 4: Generalization of required roadway improvements (see conditions for additional details).

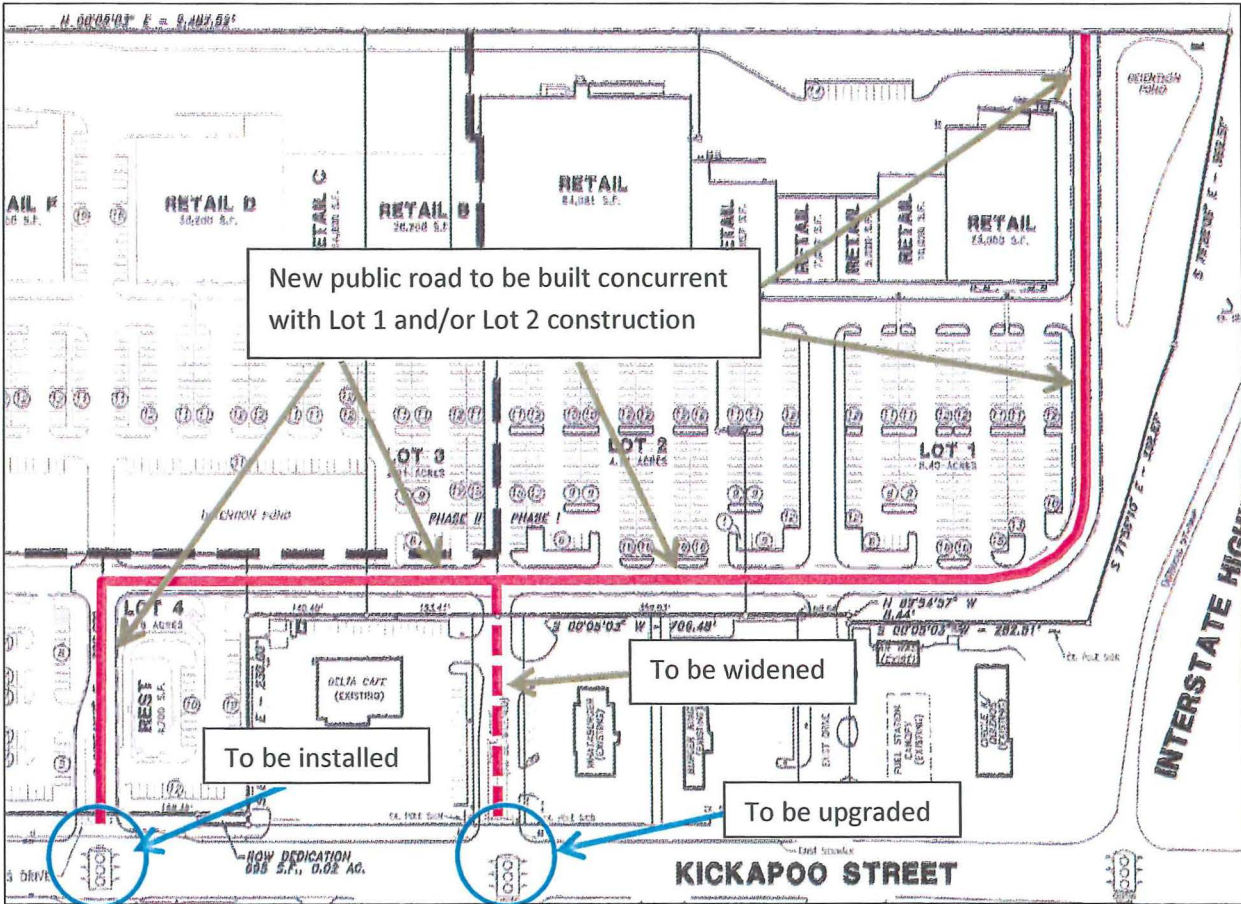


Figure 5: Generalization of required roadway improvements (see conditions for additional details).

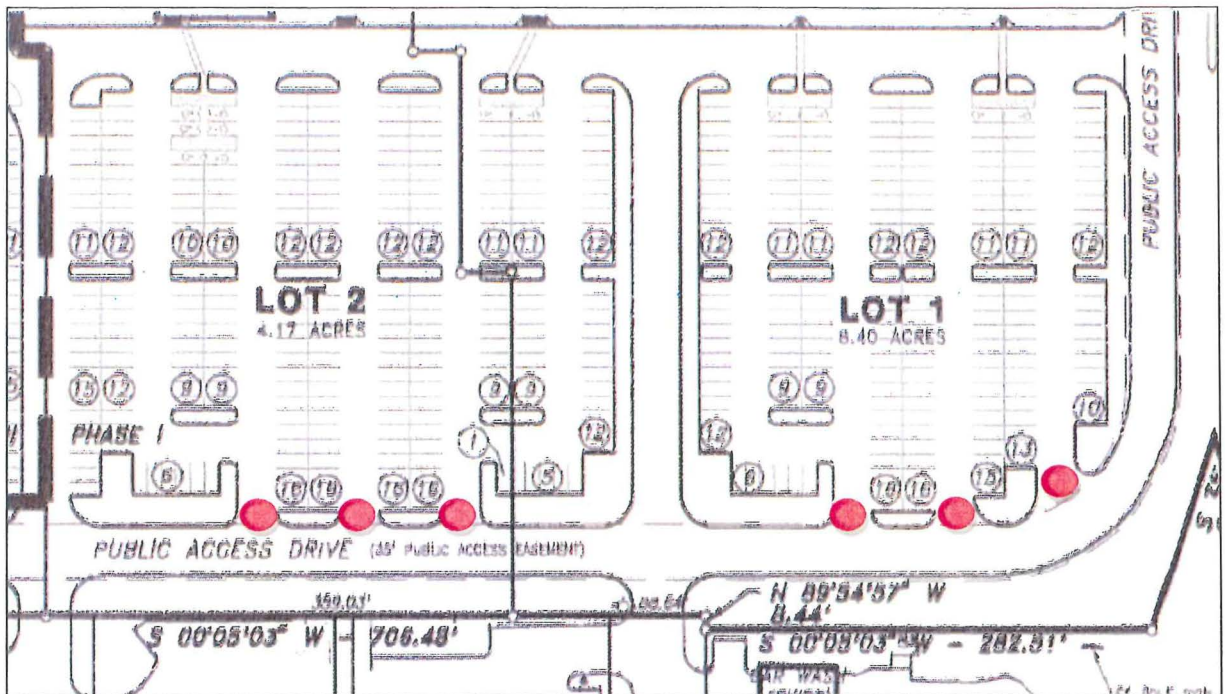


Figure 6: Curb-cuts allowed as shown (red dots) with minimum separation of 60 feet between centerline.

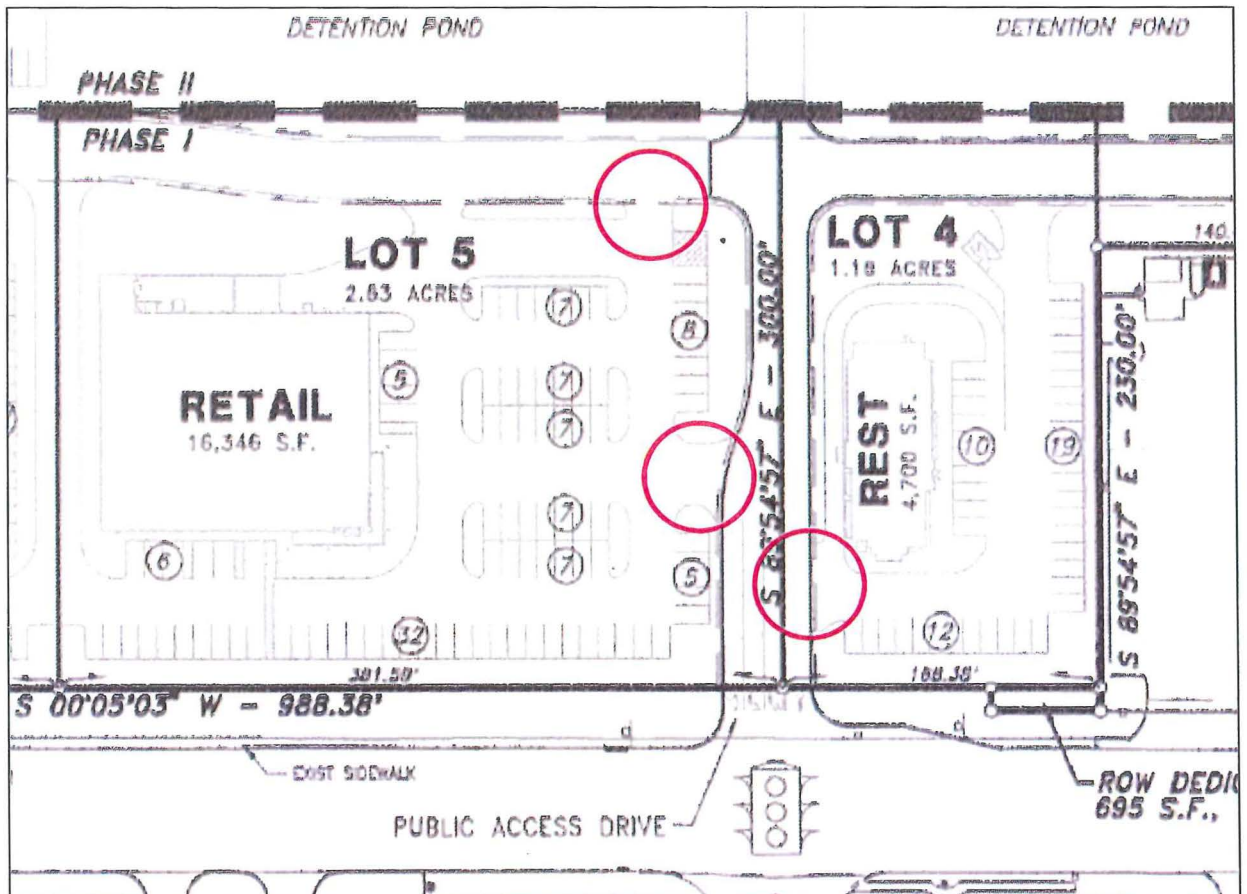


Figure 7: Driveway locations not approved (red circles) – to be reviewed with building permit submittal.

**VI. EXHIBITS**

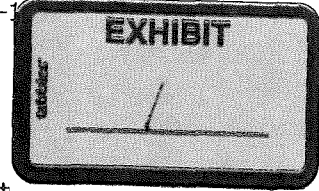
1. Planned Unit Development application materials.
2. Preliminary Plat application materials.
3. Memorandum dated February 26, 2014 from City Engineer John Krywicki to Justin Erickson.



CITY OF SHAWNEE  
222 N. BROADWAY  
SHAWNEE, OK 74801

PLANNING DEPARTMENT  
PHONE: (405) 878-1666  
FAX: (405) 878-1666

**PLANNING COMMISSION APPLICATION**  
**PROJECT NO. 140156 CASE NO. P0414**



**REQUEST:**

Rezoning \_\_\_\_\_ Rezoning w/Conditional Use Permit \_\_\_\_\_ Conditional Use Permit \_\_\_\_\_  
Planned Unit Development

I, the undersigned, do hereby respectfully make application and petition to the City Commission to amend the zoning map, and to change the zoning district of the Shawnee area, from C-3 District to PUD District, as hereinafter requested, and in support of this application, the following facts are shown:

**PROPERTY LOCATION (STREET ADDRESS):** SWQ Interstate Highway 40 & Kickapoo Street

**LEGAL DESCRIPTION:** 42 acres in SE/4, S36, T11N, R3E, IM

PROPERTY OWNER (S): County Land Office

PROPERTY AGENT (APPLICANT): Cates-Clark & Associates, LLP (Daniel Stewart, P.E.)

APPLICANT'S ADDRESS: 14800 Quorum Drive, Suite 200

CITY: Dallas STATE TX ZIP 75254

EMAIL ADDRESS: dstewart@cates-clark.com

TELEPHONE NUMBER: ( 972 ) 385-2272 CONTACT NUMBER: ( 972 ) 385-2272

**DIMENSIONS OF PROPERTY:** AREA 42.27 acres WIDTH 907 feet  
LENGTH 2488 feet FRONTAGE 988 feet

**CURRENT ZONING:** C-3 **CURRENT USE:** Undeveloped

**PROPOSED ZONING:** PUD **PROPOSED USE:** Retail/Resurant

With the filing of this application, I acknowledge that I have been informed of off-street parking, fencing and paving requirements in regard to the zoning I have requested as witnessed by my signature.

**SIGNATURE OF APPLICANT**

(FOR STAFF USE ONLY)

Filed in the office of the Planning Department, 222 N. Broadway, this 10<sup>th</sup> day of February 20 14

Chereese Chippola  
**PLANNING COMMISSION SECRETARY**

**REZONING &/OR C.U.P FEE \$ 280.00**  
**RECEIPT NO. 01568262**

**PLANNED UNIT DEVELOPMENT FEE \$ 550.00**  
**SIGN DEPOSIT \$ 50.00**

(Refundable if Applicant returns 48 hrs. after City Commission Meeting)

**PLANNING COMMISSION ACTION:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**CITY COMMISSION ACTION:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**PLACE ON ZONING MAP:** \_\_\_\_\_ **ORDINANCE NO.:** \_\_\_\_\_

CITY OF SHAWNEE  
PUBLIC HEARING NOTICE  
CASE #P04-14

Notice is hereby given that the City of Shawnee, Oklahoma, will conduct a public hearing on an application for approval of a Planned Unit Development, which is a special zoning district, on property located within the City of Shawnee.

The applicant requests a Planned Unit Development for the following described property:

PHASE 1- TRACT IA  
1-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE1/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:

COMMENCING at the northeast corner of said Southeast Quarter,

THENCE South 00°05'03" West, along the east line of said Southeast Quarter, a distance of 575.06 feet to a point, said point being 2064.74 feet North 00°05'03" East of the southeast corner of said Southeast Quarter,

THENCE North 89°54'57" West a distance of 70.00 feet to a point on the westerly right-of-way line of Kickapoo Street as established by the EASEMENT in favor of the City of Shawnee recorded as Instrument No. 200500017401, Pottawatomie County, records, and the POINT OF BEGINNING;

THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 85.00 feet;

THENCE North 44°54'57" West a distance of 35.36 feet;

THENCE North 89°54'57" West a distance of 205.00 feet;

THENCE South 00°05'03" West a distance of 322.48 feet;

THENCE South 89°54'57" East a distance of 242.00 feet to a point on the above referenced west right-of-way line of Kickapoo Street;

THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 60.00 feet;

THENCE North 89°54'57" West a distance of 242.00 feet;

THENCE South 00°05'03" West a distance of 123.61 feet;

THENCE North 89°54'57" West a distance of 677.26 feet;

THENCE North 00°05'03" East a distance of 1,020.20 feet to a point on the southerly right-of-way line of Interstate Highway 40 as established by the EASEMENT in favor of the Oklahoma

Department of Highways recorded in Book 427, Page 159, Pottawatomie County records;

THENCE southeasterly, along said southerly right-of-way line of Interstate Highway 40, the following two courses:

1. South 79°28'06" East a distance of 369.51 feet,

2. South 71°56'10" East a distance of 338.87 feet;

THENCE South 00°05'03" West, parallel with the east line of the said Southeast Quarter, a distance of 282.51 feet;

THENCE South 89°54'57" East a distance of 221.56 feet to the POINT OF BEGINNING.

PHASE 1- TRACT IB  
1-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE1/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:

COMMENCING at the southeast corner of said Southeast Quarter;

THENCE North 00°05'03" East, along the east line of said Southeast Quarter, a distance of 370.00 feet;

THENCE South 89°59'11" West a distance of 70.00 to a point on the westerly right-of-way line of Kickapoo Street as established by the EASEMENT in favor of the City of Shawnee recorded as Instrument No. 200500017401, Pottawatomie County, records, and the POINT OF BEGINNING;

THENCE South 89°59'11" West, parallel with the south line of said Southeast Quarter, a distance of 300.00 feet;

THENCE North 00°05'03" East, parallel with the east line of said Southeast Quarter, a distance of 988.89 feet;

THENCE South 89°54'57" East a distance of 312.00 feet to a point on the above referenced westerly right-of-way line of Kickapoo Street;  
THENCE southerly, along the westerly right-of-way line of Kickapoo Street, the following three (3) courses:

1. South 00°05'03" West a distance of 57.93 feet,
2. North 89°54'57" West a distance of 12.00 feet,
3. South 00°05'03" West a distance of 930.45 feet to the POINT OF BEGINNING.

PHASE I- TRACT IC  
1-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE14) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:

COMMENCING at the northeast corner of said Southeast Quarter;

THENCE South 00°05'03" West, along the east line of said Southeast Quarter, a distance of 796.30 feet to a point, said point being 1843.50 feet North 00°05'03" East of the southeast corner of said Southeast Quarter;

THENCE North 89°54'57" West a distance of 58.00 feet to a point on the westerly right-of-way line of Kickapoo Street as established by the EASEMENT in favor of the City of Shawnee recorded as Instrument No. 200500017401, Pottawatomie County, records, and the POINT OF BEGINNING;

THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 11.24 feet;

THENCE North 89°54'57" West a distance of 242.00 feet;

THENCE North 00°05'03" East a distance of 11.24 feet;

THENCE South 89°54'57" East a distance of 242.00 feet to the POINT OF BEGINNING.

PHASE II  
1-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE14) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:

COMMENCING at the southeast corner of said Southeast Quarter;

THENCE South 89°59'11" West, along the south line of said Southeast Quarter, a distance of 370.00 feet to the POINT OF BEGINNING;

THENCE continuing South 89°59'11" West, along the south line of said Southeast Quarter, a distance of 607.25 feet;

THENCE North 00°05'03" East, parallel with the east line of said Southeast Quarter, a distance of 1,500.32 feet;

THENCE South 89°54'57" East a distance of 677.26 feet;

THENCE South 00°05'03" West a distance of 140.39 feet;

THENCE North 89°54'57" West a distance of 70.00 feet;

THENCE South 00°05'03" West a distance of 1,358.89 feet to the POINT OF BEGINNING.

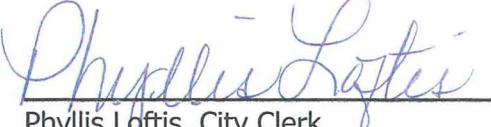
General Location Known As: SWQ of I-40 & Kickapoo St.  
Current Zoning Classification: C-3  
Requested Zoning Classification: Planned Unit Development  
Proposed Use of Property: Commercial  
Applicant: Cates-Clark & Associates, LLP

The public hearings will be held in the City Commission Chambers in City Hall, 16 W. 9<sup>th</sup> St. Shawnee, Oklahoma, as follows:

March 5 <sup>th</sup> , 2014 AT	1:30 P.M.:	CITY OF SHAWNEE PLANNING COMMISSION
March 17 <sup>th</sup> , 2014 AT	6:30 P.M.:	CITY OF SHAWNEE CITY COMMISSION

At this time any interested citizen of Shawnee, Oklahoma will have the opportunity to appear and be heard with regard to the Planned Unit Development. The Commission reserves the right to limit discussion and debate on the proposed Planned Unit Development in the public hearing, in which event those persons appearing in support or opposition of the proposed Planned Unit Development will be allotted equal time. Any formal protest must be filed in writing with the City Clerk during normal working hours before 5:00 p.m. a minimum of three (3) days prior to the hearing. If there are any questions about the proposal, or you need additional information prior to the public hearing, please contact the Planning Department at 878-1616. A copy of the application is available for public inspection during normal working hours in the Planning Secretary's office at 222 N. Broadway.

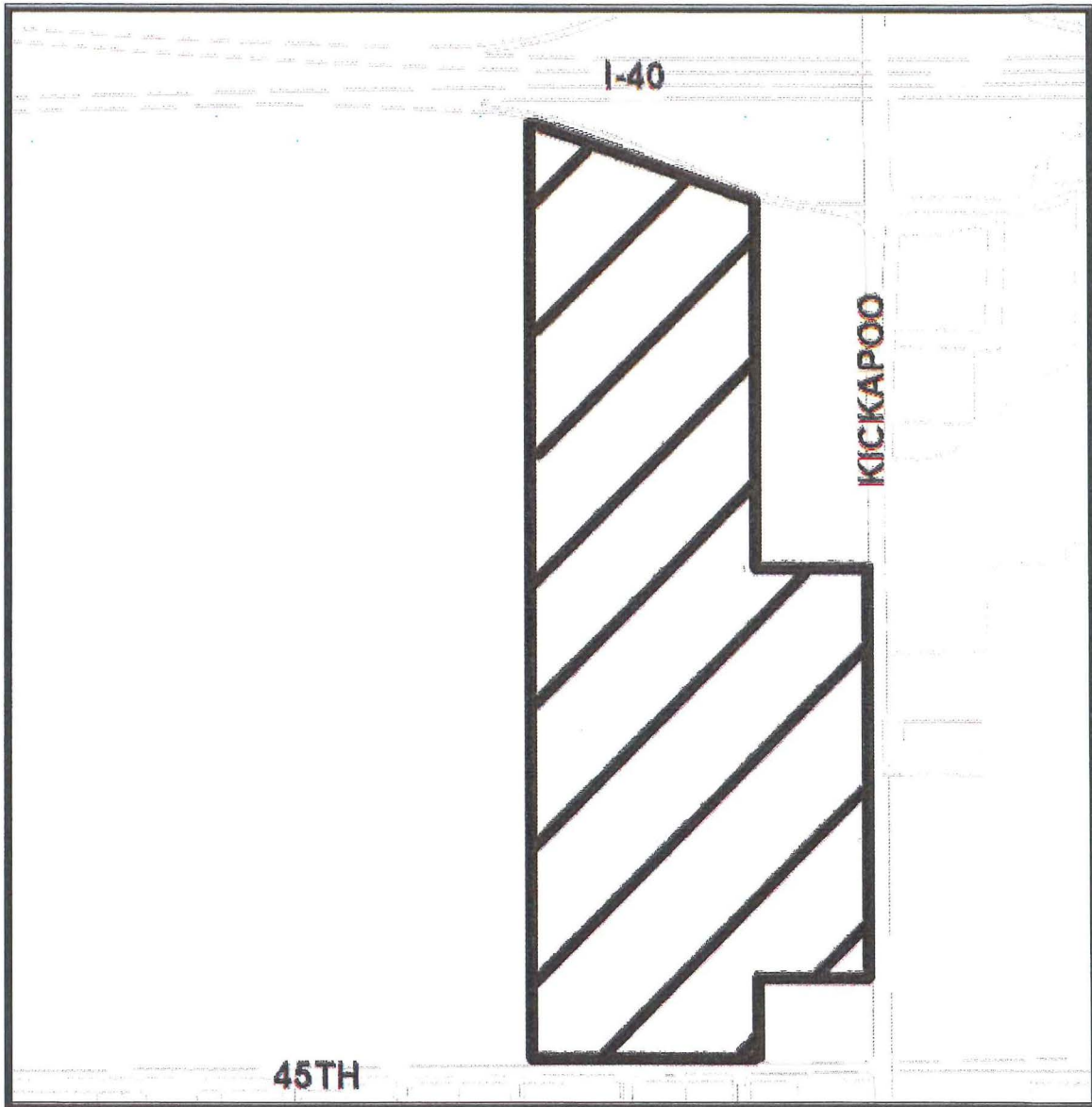
Witness my hand this 11<sup>th</sup> day of February, 2014.

  
\_\_\_\_\_  
Phyllis Loftis, City Clerk



Location Map

Case P04-14



**City of Shawnee, Oklahoma**

**PLANNED UNIT DEVELOPMENT  
SHAWNEE MARKETPLACE  
DESIGN STATEMENT**

**Prepared By:**

Cates-Clark & Associates, LLP  
14800 Quorum Drive, Suite 200  
Dallas, Texas 75254

February 21, 2014

**RECEIVED**  
FEB 23 2014  
PLANNING / CODE

## **Contents**

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## **Attachments**

Master Development Plan

Master Utility Plan

Master Sign Plan

## Site Description

Shawnee Marketplace consists of 42 acres located on the west side of Kickapoo Street between Interstate Highway 40 and 45<sup>th</sup> Street. Existing Circle K/Quiznos, Burger King, Whataburger, Delta Cafe, and CVS buildings are located along Kickapoo in the general location of the subject site, but are not included within the limits of this PUD. The land is currently owned by the Commissioners of the Land Office, and is being developed by Hunt Properties, Inc. in Dallas, Texas.

## Legal Description

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:

COMMENCING at the northeast corner of said Southeast Quarter;

THENCE South 00°05'03" West, along the east line of said Southeast Quarter, a distance of 575.06 feet to a point, said point being 2064.74 feet North 00°05'03" East of the southeast corner of said Southeast Quarter;

THENCE North 89°54'57" West a distance of 291.56 feet to the POINT OF BEGINNING;

THENCE continuing North 89°54'57" West a distance of 8.44 feet;

THENCE South 00°05'03" West a distance of 706.48 feet;

THENCE South 89°54'57" West a distance of 230.00 feet;

THENCE South 00°05'03" West a distance of 988.38 feet;

THENCE South 89°59'11" West a distance of 300.00 feet;

THENCE South 00°05'03" West a distance of 337.00 feet;

THENCE South 89°59'11" West a distance of 607.26 feet;

THENCE North 00°05'03" East a distance of 2,487.52 feet to a point on the southerly right-of-way line of Interstate Highway 40 as established by the EASEMENT in favor of the Oklahoma Department of Highways recorded in Book 427, Page 159, Pottawatomie County records;

THENCE southeasterly, along said southerly right-of-way line of Interstate Highway 40, the following two courses:

South 79°28'06" East a distance of 369.51 feet,



South 71°56'10" East a distance of 338.87 feet;

THENCE South 00°05'03" West, parallel with the east line of the said Southeast Quarter, a distance of 282.51 feet to the POINT OF BEGINNING.

Said tract of land containing 42.2705 acres more or less.

## **Concept**

The project conceptually consists of retail and/or restaurant outparcels along Kickapoo and a large retail lineup running north-south behind the existing and proposed outparcels. The project is planned to be constructed in phases, with the first phase consisting of approximately nineteen acres. Future phases may be added in any size in the future. The purpose of this Planned Unit Development is to create a unified shopping center that provides a wide range of goods and services to the City of Shawnee from national, regional and local business. The unified development concept will allow for more efficient development and improved traffic flow through the site. The proposed PUD will comply with all applicable requirements as described in the City of Shawnee Zoning Code adopted by Ordinance 1508NS dated August 21, 1989 unless otherwise discussed in this design statement.

## **Zoning**

The current zoning for the subject site is C-3, which allows for the proposed uses of retail and restaurant. C-3 will remain as the underlying zoning for the PUD. Single family residential is located south of the site, across 45<sup>th</sup> Street. The west side of the property is vacant land owned by the County Land Office and zoned C-3.

All lots must have frontage to a public street; however, within the PUD, a lot may use the proposed public access easement as street frontage. Minimum frontage requirements shall remain as listed in the base zoning. There shall be a ten foot building setback and no landscape buffer along the public access drive. All other street frontages shall meet base zoning requirements for setbacks and buffers.

Some tenants in the development may require their building to be on a separate lot from the rest of the shopping center. While this does not affect how the center works as a whole, it can create minor variations from base zoning regulations. The PUD shall allow each lot a maximum building area equal to 35% of the lot area, as long as the lot coverage for the developed portion of the overall center at no point exceeds 30%.

## **Parking**

One goal of the shopping center concept is to share facilities such as parking spaces. While many of the tenants of the development have their own minimum requirements, a reduction in required parking spaces allows for the restriction of parking access points to the public access drive and fewer unused spaces. The PUD shall allow for retail uses to have one parking space for every 250 feet of gross leasable area. Parking for restaurant uses shall be per the base zoning requirements.

## **Architecture**

Complimentary Building Design – The building design will incorporate strong forms, permanence, and concepts that translate to buildings across the Center. This will be done through material palette from which each building will choose. Roof and parapet forms, as well as wall features will add interest.

Unifying Elements – Design elements throughout the center such as stone materials, lighting fixtures, and landscaping materials will unify the PUD concept. Even though the national or regional tenants may express their trade dress, these elements will be used to provide a cohesive design.

Pedestrian Access – Pedestrian circulation is important in the shopping and entertainment venue. The center will provide purposeful design of routes, and separation of and control of vehicular and pedestrian traffic.

## **Street Improvements and Access**

The subject site is bounded by Interstate Highway 40, Kickapoo Street (5-lane undivided thoroughfare), and 45<sup>th</sup> Street (2-lane undivided collector). One additional driveway is proposed for access from Kickapoo Street. This proposed drive is located across from an existing drive on the east side of Kickapoo Street. Due to the current high volume of traffic along Kickapoo, a public north-south access drive is proposed along the west side of the outparcel area to help alleviate congestion. This interior drive will provide a connection with the three existing drives to Kickapoo Street as well as provide access to 45<sup>th</sup> Street and the undeveloped property to the west of the site. Any additional access to Kickapoo street from the outparcels will be prohibited. The drive will have a 30 foot width and be located inside a 35 foot wide public access easement that will be dedicated to the City of Shawnee for maintenance of the drive. Access points off the public access drive will be restricted to not allow a curb opening within a minimum of 75 feet from any intersection with a drive that connects to Kickapoo Street. Other curb cuts along the drive shall maintain a minimum of 60 feet between curb cuts, measured centerline-to-centerline of the opening.

## **Utility Improvements**

The subject property contains two major drainage basins, divided by a ridge that runs west from the existing Circle K/Quiznos. The proposed development will capture surface runoff and convey it through private underground conduits to detention areas where the release rate will be mitigated to undeveloped flow rates. An existing 5'x5' concrete box crossing Kickapoo Street will be extended as a public line through the property to one of the detention ponds. A second public storm drain line will be installed from 45<sup>th</sup> Street to one of the detention ponds to carry off-site flows from the residential development to the south through the property.

Water service is provided by an existing sixteen inch main along the west side of Kickapoo Street and an existing eight inch main along the south side of 45<sup>th</sup> Street. Proposed eight and twelve inch mains will be installed to serve the entire PUD area. Stub-outs will also be provided to extend service to the undeveloped property to the west. All water mains will be dedicated to the City as public infrastructure.

An existing eight inch sanitary sewer main runs through the proposed outparcel area, which will be relocated to align with the proposed north south drive. Additional eight inch public sanitary sewer mains will be installed to serve the entire PUD area. Stub-outs will also be provided to extend service to the undeveloped property to the west. All sanitary sewer mains will be dedicated to the City as public infrastructure.

## **Signage**

Similar to parking discussed previously, signage is a facet of development that has benefits from using a PUD concept. Currently, the proximity to the frontage road allows any lot within the PUD area to have a separate free standing sign with a maximum height of 40 feet. The PUD shall restrict signage to allow the following:

- One multi-tenant sign along the Interstate Highway 40 right of way with a maximum height of 40 feet and maximum sign area of 400 square feet
- Three multi-tenant signs along Kickapoo Street with a maximum height of 40 feet and a maximum sign area of 400 square feet
- One multi-tenant sign along 45<sup>th</sup> Street with a maximum height of twenty feet and a maximum sign area of 175 square feet
- One monument sign for each lot with frontage to Kickapoo Street with a maximum height of 10 feet and maximum sign area of 54 square feet for single tenant or a maximum height of fourteen feet and maximum sign area of 90 square feet for multi-tenant

All multi-tenant signs will be allowed to be located anywhere on the described street frontage and have signage for any tenant within the PUD. One multi-tenant sign along Kickapoo Street shall be allowed to be located outside of the PUD, along the Kickapoo Street frontage and between the Whataburger and Burger King lots. Sign heights, location, and areas are further detailed on the Master Sign Plan in the Attachments.

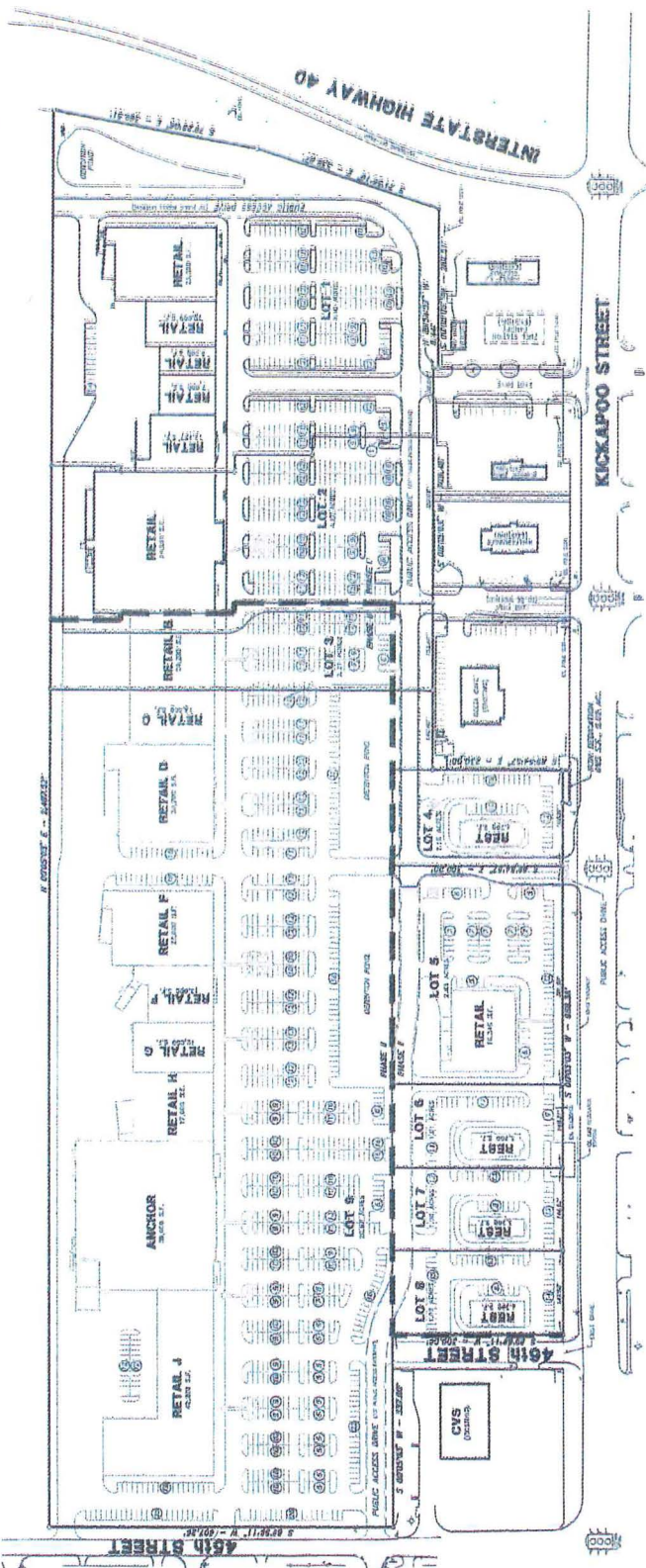
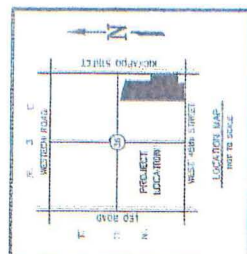
Canopy of building mounted signs shall be permitted for each building in the PUD as long as the letters conform to the center's sign criteria.

## **Site Lighting**

Lighting for the parking lot shall be provided with 40 foot tall tapered round steel poles on a three foot concrete base. Luminaires shall be rectilinear in shape, full cut-off distribution, flat lens with vertical 1,000 watt metal halide lamps. Poles and luminaires shall be bronze. There shall be no minimum light levels at the property lines adjacent to commercial zoning or public right of way.

## **Landscaping and Screening**

All landscaping and screening shall meet base zoning requirements. Landscaping shall be consistent across the entire PUD. Screening materials shall compliment the surrounding building materials.



**SITE DATA**

LOT	AREA (SQ. FT.)	AREA (SQ. YD.)	PERCENTAGE COVERED	USE	PROPOSED	APPROX. ADJACENT
1	10,000	0.23	100%	RETAIL	RETAIL	RETAIL
2	10,000	0.23	100%	RETAIL	RETAIL	RETAIL
3	10,000	0.23	100%	RETAIL	RETAIL	RETAIL
4	10,000	0.23	100%	RETAIL	RETAIL	RETAIL
5	10,000	0.23	100%	RETAIL	RETAIL	RETAIL
6	10,000	0.23	100%	RETAIL	RETAIL	RETAIL
7	10,000	0.23	100%	RETAIL	RETAIL	RETAIL
8	10,000	0.23	100%	RETAIL	RETAIL	RETAIL
9	10,000	0.23	100%	RETAIL	RETAIL	RETAIL
TOTAL	90,000	2.07	100%	RETAIL	RETAIL	RETAIL

**MASTER DEVELOPMENT PLAN**

SHAWNEE MARSHPLACE  
INTERSTATE 40 AND KICKAPOO STREET  
THE CITY OF SHAWNEE, OKLAHOMA

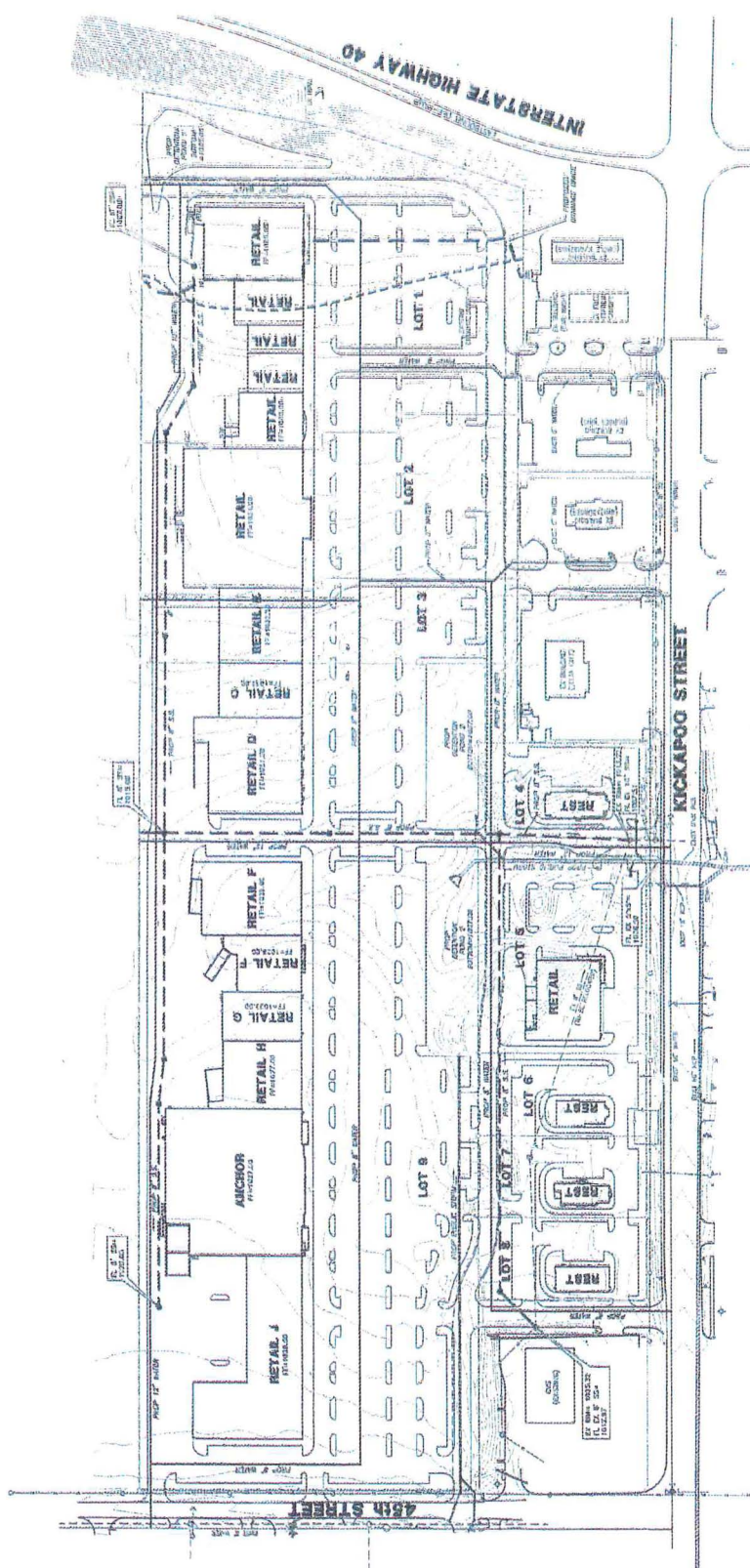
OWNER: Chick & Associates, LLC  
CONSULTING ENGINEER: [Name]

DATE: [Date]  
SCALE: [Scale]

NO. 100 200 300 400 500 600 700 800 900 1000  
FEET

DATE: [Date]  
SCALE: [Scale]

NO. 100 200 300 400 500 600 700 800 900 1000  
FEET



**RETAIL UNIT SUMMARY - PHASE I**

1. TOTAL AREA OF PHASE I RETAIL UNITS: 1,100,000 SQ. FT.

2. TOTAL AREA OF PHASE I ANCHOR UNITS: 1,100,000 SQ. FT.

3. TOTAL AREA OF PHASE I TOTAL UNITS: 2,200,000 SQ. FT.

4. TOTAL AREA OF PHASE I TOTAL UNITS: 2,200,000 SQ. FT.

LOT	AREA (SQ. FT.)	TYPE
LOT 1	100,000	RETAIL
LOT 2	100,000	RETAIL
LOT 3	100,000	RETAIL
LOT 4	100,000	RETAIL
LOT 5	100,000	RETAIL
LOT 6	100,000	RETAIL
LOT 7	100,000	RETAIL
LOT 8	100,000	RETAIL
LOT 9	100,000	RETAIL
LOT 10	1,100,000	ANCHOR

**RETAIL UNIT SUMMARY - PHASE II**

1. TOTAL AREA OF PHASE II RETAIL UNITS: 1,100,000 SQ. FT.

2. TOTAL AREA OF PHASE II ANCHOR UNITS: 1,100,000 SQ. FT.

3. TOTAL AREA OF PHASE II TOTAL UNITS: 2,200,000 SQ. FT.

4. TOTAL AREA OF PHASE II TOTAL UNITS: 2,200,000 SQ. FT.

LOT	AREA (SQ. FT.)	TYPE
LOT 1	100,000	RETAIL
LOT 2	100,000	RETAIL
LOT 3	100,000	RETAIL
LOT 4	100,000	RETAIL
LOT 5	100,000	RETAIL
LOT 6	100,000	RETAIL
LOT 7	100,000	RETAIL
LOT 8	100,000	RETAIL
LOT 9	100,000	RETAIL
LOT 10	1,100,000	ANCHOR

**MASTER UTILITY PLAN**

SHAWNEE MARKETPLACE

INTERSTATE 40 AND KICKAPOO STREET

THE CITY OF SHAWNEE, OKLAHOMA

Case - Clark & Associates, LLP

Consulting Engineers

DATE: 07/29/14

SCALE: AS SHOWN

PROJECT: SHAWNEE MARKETPLACE

FILE: 105

DATE: 07/29/14

BY: [Signature]

SCALE: AS SHOWN

PROJECT: SHAWNEE MARKETPLACE

FILE: 105

DATE: 07/29/14

BY: [Signature]

**CONTRACTOR**

SHAWNEE MARKETPLACE

CONTRACT NO. 105

DATE: 07/29/14

BY: [Signature]

**DESIGNER**

CLARK & ASSOCIATES, LLP

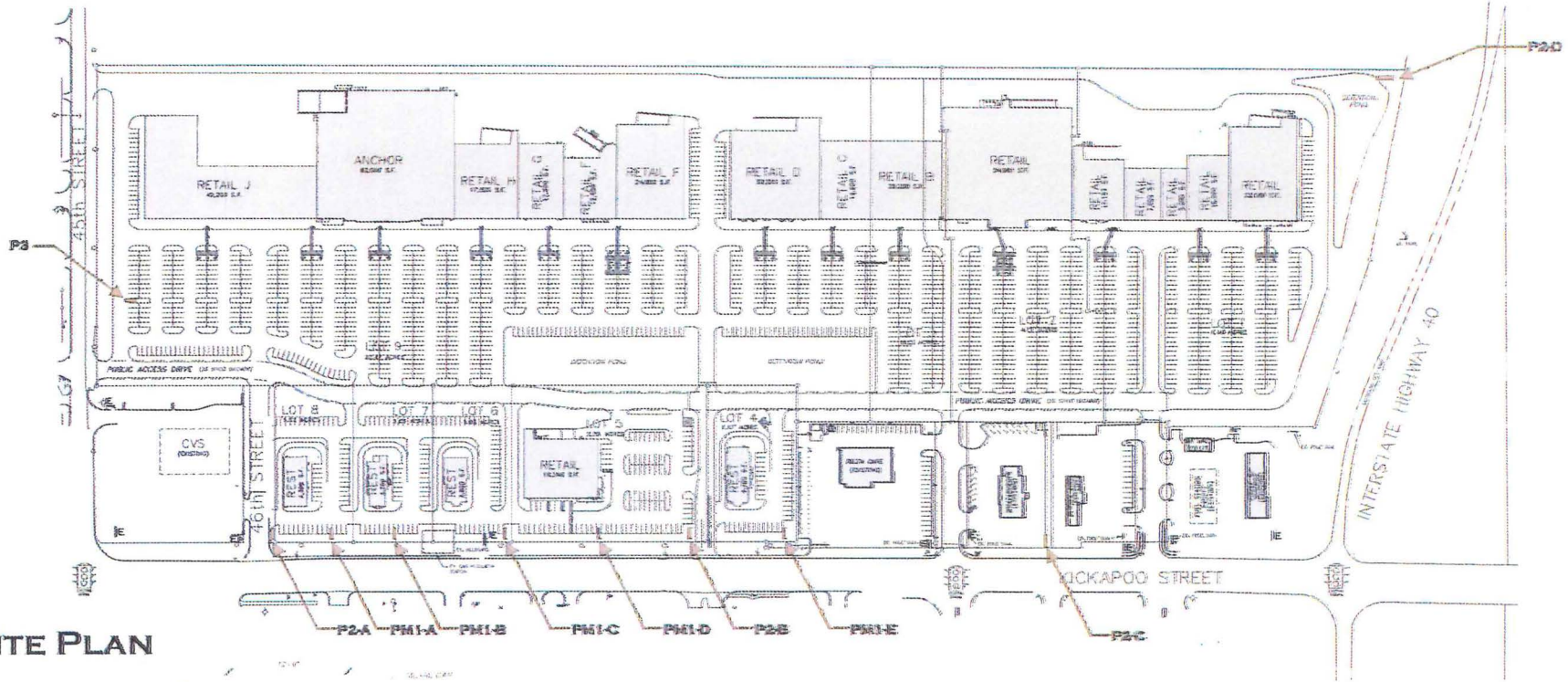
1000 WEST 10TH AVENUE, SUITE 200

OKLAHOMA CITY, OKLAHOMA 73106

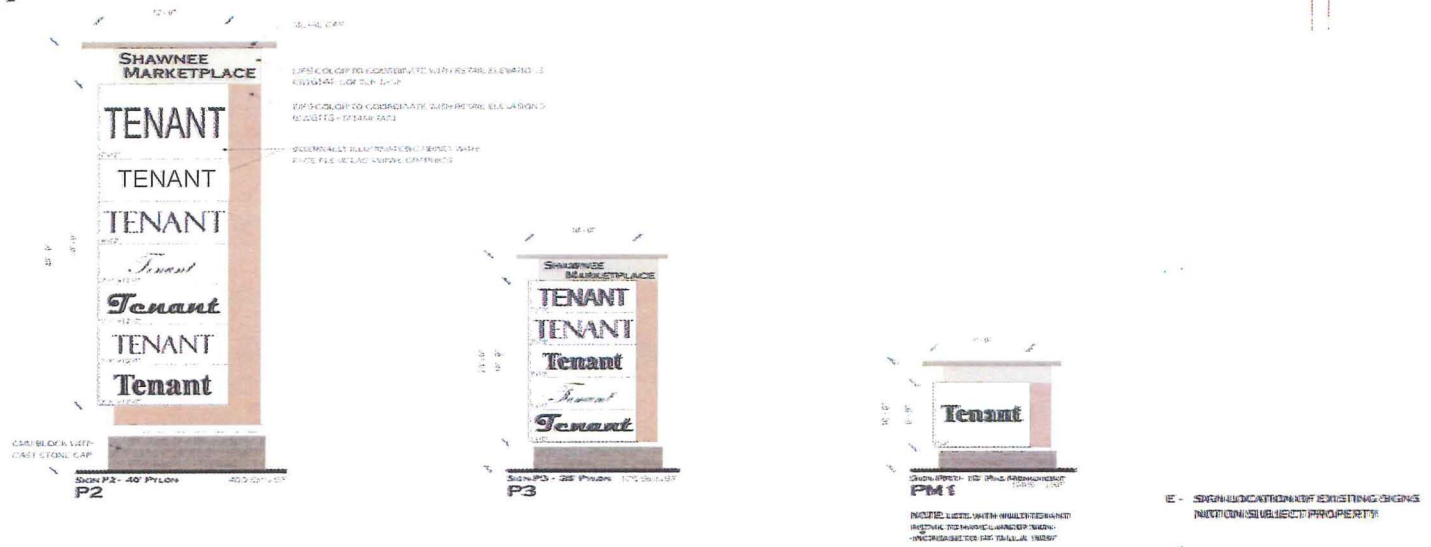
PHONE: (405) 521-1000

FAX: (405) 521-1001

CONTACT: JEFF HARRIS



**MASTER SITE PLAN**

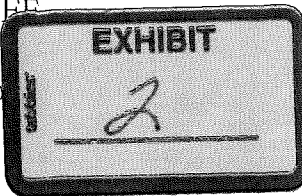


**SIGN EXHIBIT - SHAWNEE MARKETPLACE**

13046 01.16.14 Kfs  
02.04.14  
02.07.14



PRELIMINARY PLAT APPLICATION FOR THE CITY OF SHAWNEE



Please provide a submittal letter, 6-24 X 36 maps, 1-8 1/2 x 14 map, 1 electronic map  
filing fees upon submitting this application. Please call 878-1665 with any questions.

APPLICANT Cates-Clark & Associates, LLP (Daniel Stewart, P.E.)

APPLICANT ADDRESS 14800 Quorum Drive, Suite 200, Dallas, Texas 75254

APPLICANT PHONE NUMBERS (972) 385-2272

EMAIL ADDRESS dstewart@cates-clark.com

NAME OF PLAT Shawnee Marketplace Addition

LOCATION SWQ IH-40 & Kickapoo Street

NUMBER OF ACRES 42.94 NUMBER OF LOTS 8

FOR 2 ACRE LOTS OR GREATER DEVELOPMENTS: FEE: \$225.00

PLUS \$3.00 PER LOT UP TO FIFTY (50) LOTS NUMBER OF LOTS 8 \$24.00

PLUS \$1.00 PER LOTS OVER FIFTY (50) LOTS NUMBER OF LOTS \_\_\_\_\_

TOTAL COST \$249.00

FOR LESS THAN 2 ACRE LOTS: FEE: \$225.00

PLUS \$2.00 PER LOT UP TO FIFTY (50) LOTS NUMBER OF LOTS \_\_\_\_\_

PLUS \$1.00 PER LOTS OVER FIFTY (50) LOTS NUMBER OF LOTS \_\_\_\_\_

TOTAL COST

**OWNER/DEVELOPER INFORMATION:**

NAME Hunt Properties, Inc. (Jeff Williams)

ADDRESS 8235 Douglas Avenue, Suite 1300, Dallas, Texas 75225

CONTACT NUMBERS (214) 360-9600

EMAIL ADDRESS \_\_\_\_\_

RECEIVED

JAN 06 2014

PLANNING / CODE

**PROJECT ENGINEER INFORMATION:**

NAME Daniel Stewart, P.E.

ADDRESS 14800 Quorum Drive, Suite 200, Dallas, Texas 75254

CONTACT NUMBERS (972) 385-2272

EMAIL ADDRESS dstewart@cates-clark.com

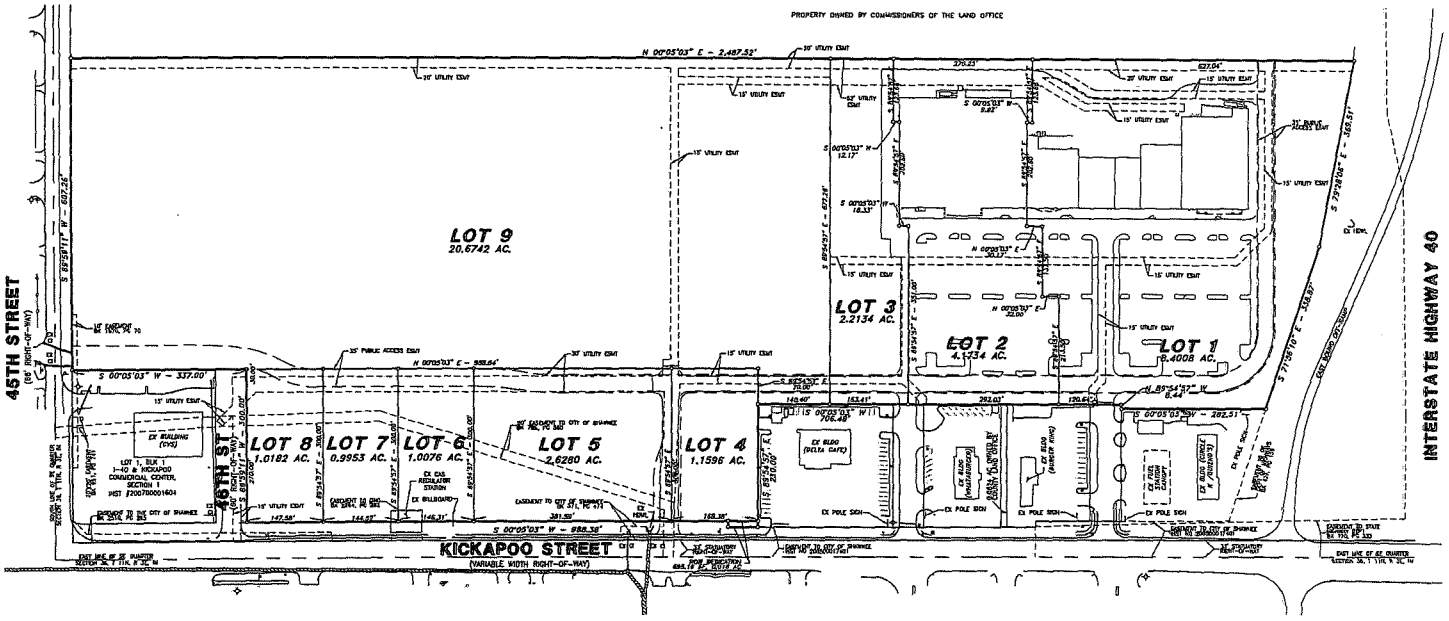
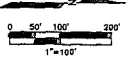
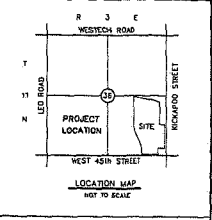
FOR STAFF USE ONLY

PROJECT NUMBER: 140013

CASE NUMBER: 501-14

DATE: 1-7-14 AMOUNT PAID: 249.00 RECEIPT NO. 01556169





SITE DATA	
SITE AREA:	42,386.4 AC
TOTAL LOTS:	9
ROW DEDICATION:	0.0160 AC
ZONING:	C-3
PROPOSED USE:	COMMERCIAL

PRELIMINARY PLAT  
SHAWNEE MARKETPLACE ADDITION  
LOTS 1-8

BEING 42.2864 ACRES OUT OF THE  
SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 11,  
RANGE 3 EAST OF THE INDIAN MERIDIAN  
CITY OF SHAWNEE, POTTOWATOMIE COUNTY, OKLAHOMA

received  
2/24/14

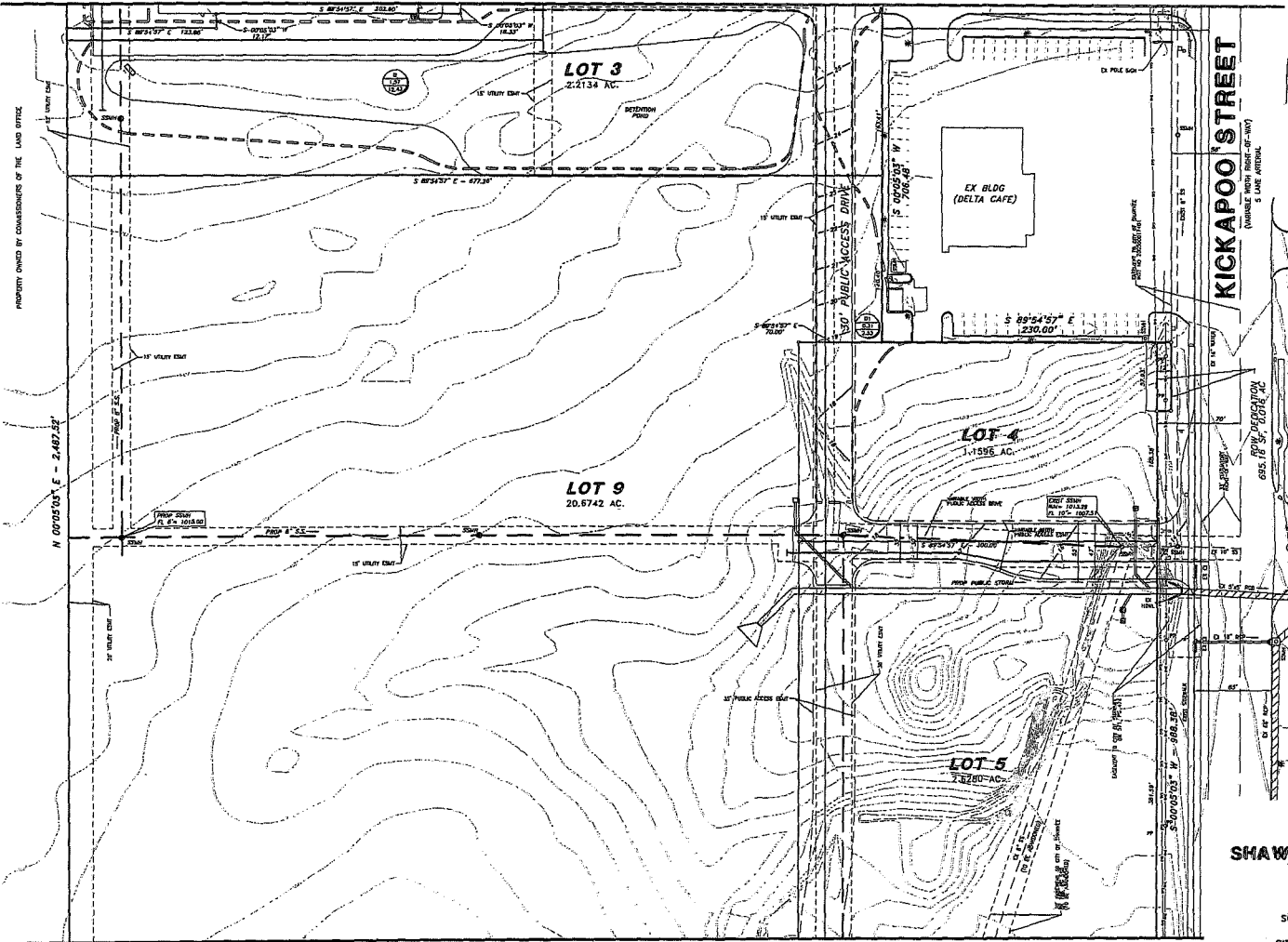
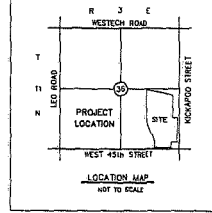
OWNER  
HUNT PROPERTIES, INC.  
8235 BOWLING AVENUE, SUITE 1300  
DALLAS, TEXAS 75225  
(214) 350-9800  
CONTACT: JUDY WILLIAMS

ENGINEER/APPLICANT  
DAVIS-CLEGG & ASSOC., LLP  
14800 GOSHORN DRIVE, SUITE 200  
DALLAS, TEXAS 75244  
(972) 388-2272  
CONTACT: DANIEL B. STEWART, P.E.

CCA NO. 019-008  
SHEET 1 OF 4  
JANUARY 2, 2014

S:\WORKSPACE\019019019\019 PRELIM PLAT.dwg, 2/22/2014, 12:25:17 PM, jstph

MATCH LINE (SEE SHEET 2)



LEGEND

- EXIST. CONTOUR
- PROP. CONTOUR
- PROP. DRAINAGE DIVIDE
- EXIST. DRAINAGE DIVIDE
- DRAINAGE AREA NO. AREA (ACRES) Q100 (CFS)
- EXIST. STORM
- PROP. STORM

received  
2/24/12

SITE DATA

SITE AREA	42.864 AC
TOTAL LOTS	4
NON DEDICATION	0.050 AC
ZONING	C-3
PROPOSED USE	COMMERCIAL

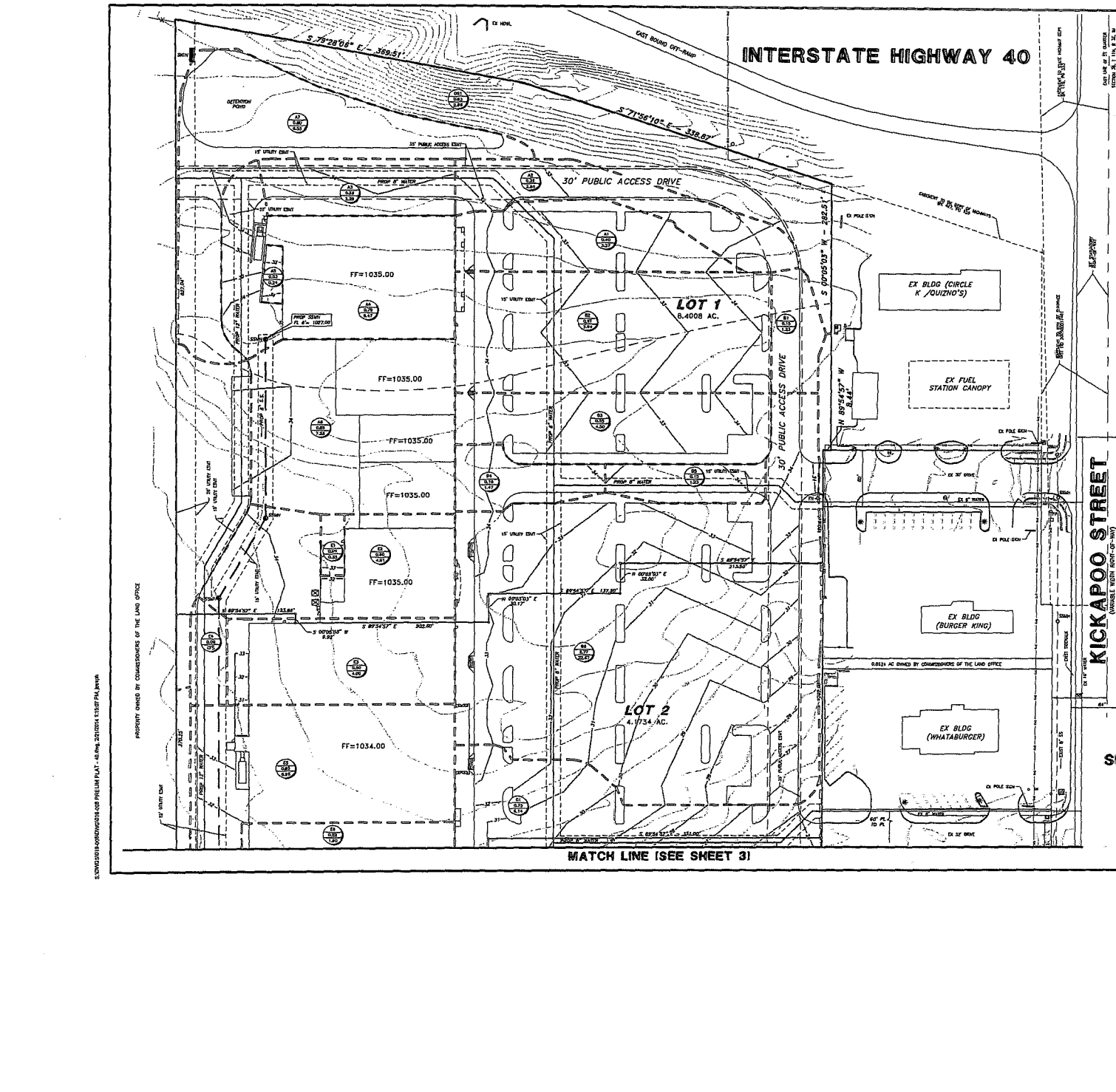
**PRELIMINARY PLAT  
SHAWNEE MARKETPLACE ADDITION  
LOTS 1-8**

BEING 42.2864 ACRES OUT OF THE  
SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 11,  
RANGE 3 EAST OF THE INDIAN MERIDIAN  
CITY OF SHAWNEE, POTTOWATOMIE COUNTY, OKLAHOMA

CCA NO 09-008  
SHEET 3 OF 4  
JANUARY 2, 2014

S:\CADD\2011\2007\02\01\001 PRELIM PLAT - 6.dwg, 2/24/2011, 1:55:18 PM, jmmh

MATCH LINE (SEE SHEET 4)



5 75°28'06" E - 369.51'

5 71°56'10" E - 338.67'



received  
2/24/11

SITE DATA

SITE AREA	42.2864 AC
TOTAL LOTS	8
ROW DEDICATION	0.8143 AC
ZONING	C-2
PROPOSED USE	COMMERCIAL

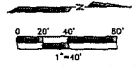
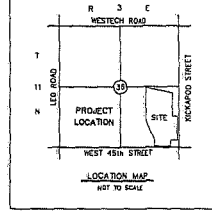
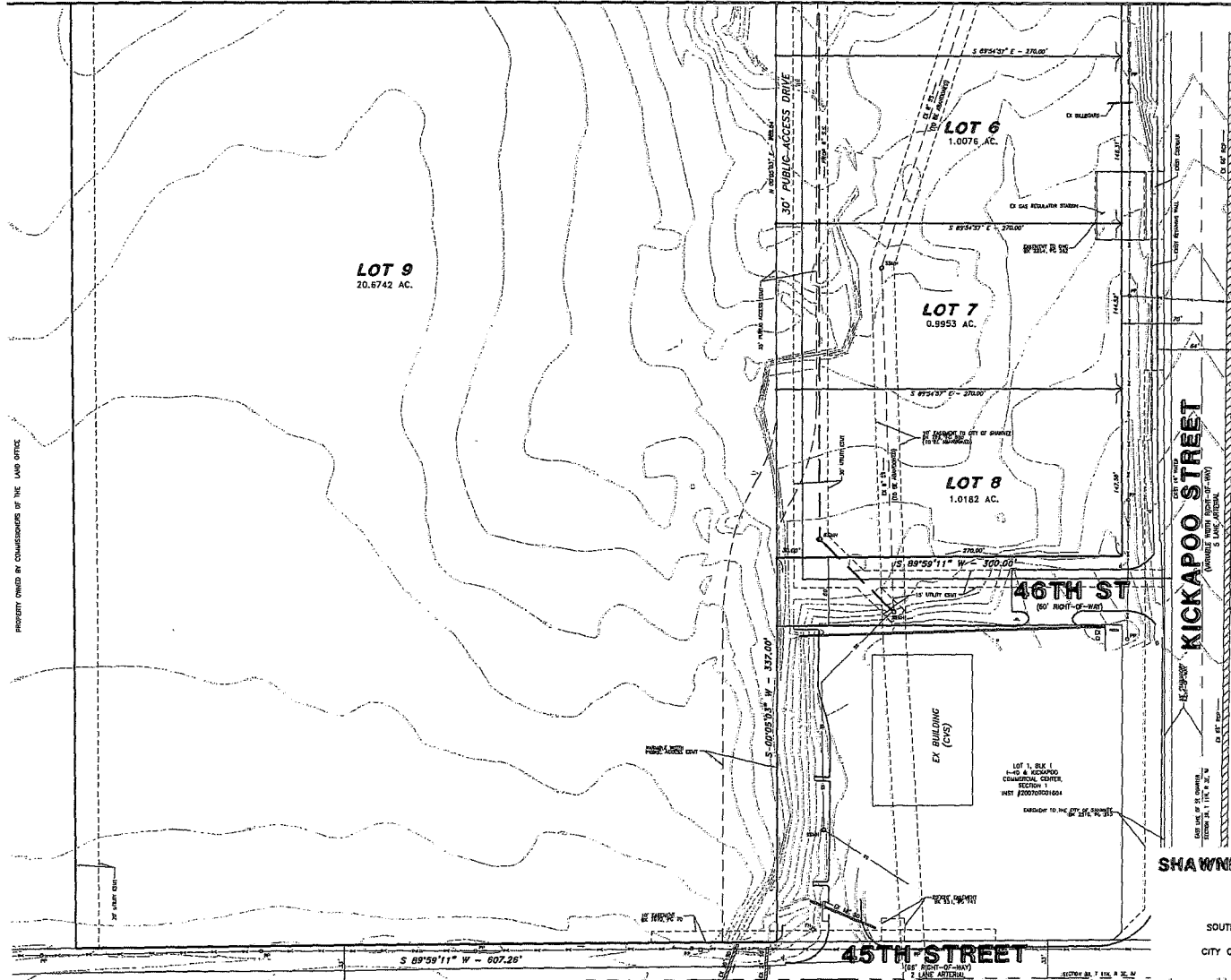
PRELIMINARY PLAT  
SHAWNEE MARKETPLACE ADDITION  
LOTS 1-8

BEING 42.2864 ACRES OUT OF THE  
SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 11,  
RANGE 3 EAST OF THE INDIAN MERIDIAN  
CITY OF SHAWNEE, POTTOWATOMIE COUNTY, OKLAHOMA

CEA NO 019-009  
SHEET 2 OF 4  
JANUARY 2, 2011

0.0824 AC OWNED BY COMMISSIONERS OF THE LAND OFFICE

MATCH LINE (SEE SHEET 3)



LEGEND

	EXIST. CONTOUR
	PROP. CONTOUR
	PROP. DRAINAGE DIVIDE
	EXIST. DRAINAGE DIVIDE
	DRAINAGE AREA NO.
	AREA (ACRES)
	Q <sub>100</sub> (CFS)
	EXIST. STORM
	PROP. STORM

**received**  
2/24/14

SITE DATA

SITE AREA:	42.2864 AC
TOTAL LOTS:	8
ROW DEDICATION:	8.0000 AC
ZONING:	C-2
PROPOSED USE:	COMMERCIAL

**PRELIMINARY PLAT  
SHAWNEE MARKETPLACE ADDITION  
LOTS 1-8**

BEING 42.2864 ACRES OUT OF THE  
SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 11,  
RANGE 3 EAST OF THE INDIAN MERIDIAN  
CITY OF SHAWNEE, POTTOWATOMIE COUNTY, OKLAHOMA

CCA NO. 019-009  
SHEET # OF 4  
JANUARY 2, 2014

0:\WORK\PROJECTS\019-009 PRELIM PLAT - 0.dwg, 2/20/14 11:52 PM, Jcmh

PROPERTY OWNED BY COMMISSIONERS OF THE LAND OFFICE

<p><b>Mayor</b> WES MAINORD</p> 	<p><b>The City of Shawnee</b> PO Box 1448 Shawnee Oklahoma 74802-1448 (405) 273-1250 Fax (405) 878-1581 <a href="http://www.ShawneeOK.org">www.ShawneeOK.org</a></p>	<p><b>Commissioners</b> PAM STEPHENS LINDA AGEE JAMES HARROD KEITH HALL JOHN WINTERRINGER STEVE SMITH</p>
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Date: February 26, 2014

To: Justin Erickson, Comm. Dev. Director

From: John Krywicki, P.E., City Engineer



**Re: Shawnee MarketPlace Addition**

There has not been any submittal of "Construction Plans" for the waterlines, sanitary sewer, public street paving, traffic signals and signalization of selected intersections, storm sewer, drainage structures, and the detention pond area(s), thus, our recommendation of Preliminary Plat approval will be 'contingent', on receipt and approval of the construction plans by the City Engineer, and such construction plans shall meet the requirements and standards of the Shawnee Subdivision Regulations and the intent of the Shawnee Comprehensive Plan.

Having said that, we have reviewed the submittals (Master Development Plan and the Preliminary Plat) received on Monday, February 24, 2014 for the above referenced project, and would make the following comments:

- Between Lot 4 and Lot 5 there needs to be a minimum 80' right-of-way to line up with the street directly across Kickapoo on the east side, and there needs to be a minimum 20' drainage easement to locate the drainage structure that will be required to be extended to the west. Sidewalks will also be required along both sides of the entrance between Lots 4 and 5, thus, necessitating the additional r/w or roadway easement needed.
- Utility layout for water and sanitary sewer is not approved. There shall be no waterlines or sanitary sewer lines running parallel with and under the road paving. All utilities are to be located out from under the street paving and within the road r/w or within their own separate utility easements. If

within the road easement, then road easement (r/w) needs to be increased from the shown 35' width r/w to a minimum of 60' r/w.

- Note: Utility easements cannot be within the road easement unless the road r/w is a minimum of 60' wide. No utilities will be allowed to run parallel with and under the road paving.
- Preliminary Plat does not show or indicate the necessary and required signalization of the intersections that are to be done as part of the MarketPlace Project. The existing signals at the Lowes intersection will need to be improved and upgraded to accommodate the new intersection geometrics, and widening of the road between Delta Cafe and Whataburger as a result of the MarketPlace Project.
- Also, signalization at the new entrance between Lots 4 and 5 will need to be required as part of the MarketPlace Project.
- The "Perimeter Public Road" that is shown from 45<sup>th</sup> Street to the west property line of the property near the northwest corner of the overall site is to be a public street dedicated to the City for future maintenance and operation responsibilities. The Perimeter Road needs to be labeled as a "COLLECTOR STREET" on both the Preliminary Plat and the future Final Plat.
- The entrance between Lots 4 and 5 needs to have at least three lanes extended back to the perimeter road (collector street) instead of the shown two lanes.
- The public street (drive) between CVS and Lot 8 needs to be extended back to the perimeter road (collector street), and needs to be indicated as such on the Preliminary Plat, along with sidewalks, lighting, etc.
- Perimeter road (collector street) needs to be shown on both the Master Development Plan and on the Preliminary Plat to 45<sup>th</sup> Street with geometrics of intersection shown along with indication that signalization will occur as required for project development of the MarketPlace Project.
- ALL waterline extensions and looping need to be shown on the Preliminary Plat. There is not any indication that the waterlines will be extended and looped to 45<sup>th</sup> Street, which they will need to be and required for the MarketPlace Project.

- Drainage and Detention will be required for the MarketPlace Project. The detention calculations shown on the Master Utility Plan are not approved. The sizing and volume(s) required for detention pond design will be reviewed later upon submittal of construction plans indicating proposed outlet works and the routing of inflow hydrographs through the proposed outlet works at the historical runoff rates for this site, along with the appropriate hydraulic/hydrology calculations (report) for this development. The Rational Method for drainage design is adequate for Peak Flow calculations at specific location(s) in the design of drainage structures, culverts, etc, but the rational method is not an approved method by the City for hydrograph formulation or the routing of flows through the outlet works for pond design.

Since the Final Plat must be in substantial compliance with the approved Preliminary Plat in order to be heard by the Planning Commission (Section 80.3.B), and since our recommendation of approval of the Preliminary Plat is contingent on receipt and approval of the construction plans for the public improvements and infrastructure, it then follows that we will need to have the construction plans submitted and approved prior to taking the Final Plat forward to the Planning Commission for consideration.

If you have any questions or need additional information, please advise.

STATE OF OKLAHOMA )  
 ) SS:  
COUNTY OF POTTAWATOMIE )

**-: AFFIDAVIT OF BONDED ABTRACTOR :-**

The undersigned Bonded Abstractor in and for the aforesaid County and State does hereby certify that the following Ownership is true and correct according to the current year's tax rolls in the Office of the County Treasurer of Pottawatomie County, Oklahoma, as updated by the records of the Office of the County Clerk of Pottawatomie County, Oklahoma; that the owners, as reflected by said records, are based on the last conveyance or final decree of record of certain properties located within 300 feet in all directions of the following described lands:

PHASE I- TRACT IA  
I-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:

COMMENCING at the northeast corner of said Southeast Quarter;

THENCE South 00°05'03" West, along the east line of said Southeast Quarter, a distance of 575.06 feet to a point, said point being 2064.74 feet North 00°05'03" East of the southeast corner of said Southeast Quarter;

THENCE North 89°54'57" West a distance of 70.00 feet to a point on the westerly right-of-way line of Kickapoo Street as established by the EASEMENT in favor of the City of Shawnee recorded as Instrument No. 200500017401, Pottawatomie County, records, and the POINT OF BEGINNING;

THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 85.00 feet;

THENCE North 44°54'57" West a distance of 35.36 feet;

THENCE North 89°54'57" West a distance of 205.00 feet;

THENCE South 00°05'03" West a distance of 322.48 feet;

THENCE South 89°54'57" East a distance of 242.00 feet to a point on the above referenced west right-of-way line of Kickapoo Street;

THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 60.00 feet;

THENCE North 89°54'57" West a distance of 242.00 feet;

THENCE South 00°05'03" West a distance of 123.61 feet;

THENCE North 89°54'57" West a distance of 677.26 feet;

THENCE North 00°05'03" East a distance of 1,020.20 feet to a point on the southerly right-of-way line of Interstate Highway 40 as established by the EASEMENT in favor of the Oklahoma Department of Highways recorded in Book 427, Page 159, Pottawatomie County records;

THENCE southeasterly, along said southerly right-of-way line of Interstate Highway 40, the following two courses:

1. South 79°28'06" East a distance of 369.51 feet,
2. South 71°56'10" East a distance of 338.87 feet;

THENCE South 00°05'03" West, parallel with the east line of the said Southeast Quarter, a distance of 282.51 feet;

THENCE South 89°54'57" East a distance of 221.56 feet to the POINT OF BEGINNING.



PHASE I- TRACT IB  
I-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:

COMMENCING at the southeast corner of said Southeast Quarter;

THENCE North 00°05'03" East, along the east line of said Southeast Quarter, a distance of 370.00 feet;

THENCE South 89°59'11" West a distance of 70.00 to a point on the westerly right-of-way line of Kickapoo Street as established by the EASEMENT in favor of the City of Shawnee recorded as Instrument No. 200500017401, Pottawatomie County, records, and the POINT OF BEGINNING;

THENCE South 89°59'11" West, parallel with the south line of said Southeast Quarter, a distance of 300.00 feet;

THENCE North 00°05'03" East, parallel with the east line of said Southeast Quarter, a distance of 988.89 feet;

THENCE South 89°54'57" East a distance of 312.00 feet to a point on the above referenced westerly right-of-way line of Kickapoo Street;

THENCE southerly, along the westerly right-of-way line of Kickapoo Street, the following three (3) courses:

1. South 00°05'03" West a distance of 57.93 feet,
2. North 89°54'57" West a distance of 12.00 feet,
3. South 00°05'03" West a distance of 930.45 feet to the POINT OF BEGINNING.

PHASE I- TRACT IC  
I-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:

COMMENCING at the northeast corner of said Southeast Quarter;

THENCE South 00°05'03" West, along the east line of said Southeast Quarter, a distance of 796.30 feet to a point, said point being 1843.50 feet North 00°05'03" East of the southeast corner of said Southeast Quarter;

THENCE North 89°54'57" West a distance of 58.00 feet to a point on the westerly right-of-way line of Kickapoo Street as established by the EASEMENT in favor of the City of Shawnee recorded as Instrument No. 200500017401, Pottawatomie County, records, and the POINT OF BEGINNING;

THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 11.24 feet;

THENCE North 89°54'57" West a distance of 242.00 feet;

THENCE North 00°05'03" East a distance of 11.24 feet;

THENCE South 89°54'57" East a distance of 242.00 feet to the POINT OF BEGINNING.

PHASE II  
I-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:

COMMENCING at the southeast corner of said Southeast Quarter;

THENCE South 89°59'11" West, along the south line of said Southeast Quarter, a distance of 370.00 feet to the POINT OF BEGINNING;

THENCE continuing South 89°59'11" West, along the south line of said Southeast Quarter, a distance of 607.25 feet;

THENCE North 00°05'03" East, parallel with the east line of said Southeast Quarter, a distance of 1,500.32 feet;

THENCE South 89°54'57" East a distance of 677.26 feet;

THENCE South 00°05'03" West a distance of 140.39 feet;

THENCE North 89°54'57" West a distance of 70.00 feet;

THENCE South 00°05'03" West a distance of 1,358.89 feet to the POINT OF BEGINNING.

and find the following owners, addresses and brief legal descriptions on the attached pages numbered from One (1) to Four (4), both inclusive.

The Abstractor makes no representation or warranty, either expressed or implied, regarding the accuracy of the information contained in this report. The Abstractor does not guarantee the validity of the title of such parties nor is this report intended to guarantee title thereof. The liability of the Abstractor shall be based solely on contract and shall be limited to the price paid for the report by the customer. The parties agree that the Abstractor shall not be liable for consequential damages. Acceptance of the instrument constitutes acceptance of this limitation on liability.

EXECUTED at Shawnee, Oklahoma, this 3<sup>rd</sup> day of February, 2014.

FIRST AMERICAN TITLE AND TRUST COMPANY

By 

Teresa Southard, Licensed Abstractor #264

Order No. 1904296-SH99

# Ownership List

Order No. 1904296-SH99

Date February 4, 2014

Page No. 1

Owner

Brief Legal:

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Commissioners of the Land Office – Paragon Building, Suite 200, 5801 N. Broadway Extension, Oklahoma City, OK 73118

Section 36, Township 11 North, Range 3 East

---

Communication Federal Credit Union – 4141 NW Expressway, Oklahoma City, OK 73116

Beg. SW/C SW/4 Section 31, Township 11 North, Range 4 East; thence N 49.99'; thence E 60' to point of beg.; thence N00°05'03"W 235.01'; thence S89°54'57"E 220'; thence S00°05'03"E 235.07'; thence N89°54'06"W 220' to beg.

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SR Properties, LLC – 8117 Preston Road, Dallas, TX 75225

Beg. 450' N & 60' E SW/C SW/4; thence E 230'; thence S 165'; thence W 230'; thence N 165' to point of beg. & Beg. 285' N SW/C SW/4; thence N 165'; thence E 60'; thence S 165'; thence W 60' to point of beg. all in Section 31, Township 11 North, Range 4 East

---

Shawnee Mission Improvements Association, LLC – 132 W. Main St., Purcell, OK 73080

Beg. SW/C SW/4 Section 31, Township 11 North, Range 4 East; thence N 1119.55' point of beg.; thence N 130'; thence E 60'; thence S44°54'57"E 35.36'; thence E 195'; thence S 80'; thence W 195'; thence S45°05'03"W 35.36'; thence W 60' to beg.

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Kickapoo, Ltd. – 8571 A Foxwood Court, Suite A, Poland, OH 44514

Beg. SW/C SW/4 Section 31, Township 11 North, Range 4 East; thence N along W line SW/4 1691.55' to point of beg.; thence N along W line 113.15'; thence E 50' to a point on the E R/W Line Kickapoo St.; thence S87°E 230.14'; thence S 105.33'; thence W 208' to beg.

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McDonald Corporation – P.O. Box 182571, Columbus, OH 43218-2571

Beg. NW/C Government Lot 3; thence S 573.37'; thence SE 55.72' to point said point being on E'ly R/W Line for Kickapoo Street said point also being 261.16' SW of NW/C Lot 1, Block 1, BRIAR CREEK, PHASE I and also being point of beg.; thence SE 226.18'; thence SW 50'; thence NW 226.18' to point on E'ly R/W Line Kickapoo Street; thence NE 50' to beg., Section 31, Township 11 North, Range 4 East

---

State of Oklahoma – 200 NE 21<sup>st</sup>, Oklahoma City, OK 73105

Beg. NW/C Lot 1, Block 1, BRIAR CREEK PHASE I, etc., to Shawnee

---

Lowe's Home Centers, Inc. – P.O. Box 1000, Mooresville, NC 28117-1000

Beg. 1634.55' N SW/C Section 31, Township 11 North, Range 4 East; thence N along W line of SW 57'; thence E 280'; thence N 105.33' to SE/C Lot 2, Block 1, SHAWNEE MISSION PLAZA; thence N on the E line of Lot 2 210.13' to NE/C Lot 2; thence N 50'; thence SE 23.82'; thence N 303.13' to point on SE R/W Interstate 40; thence along R/W on a curve to the left having a radius of 791.20' (chord bearing N69°E a chord distance of 95.45') an arc length of 95.5'; thence N66°E continuing along R/W line 319.46'; thence N72°E 89.08'; thence on a curve to the right having a radius of 300' (chord bearing N81°E a chord distance of 94.23') an arc length of 94.62'; thence E 187.73'; thence S 926.22'; thence W 1064.03' to beg., etc.

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## Ownership List

Order No. 1904296-SH99

Date February 4, 2014

Page No. 2

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Owner

Brief Legal:

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Cotter & Sons, Inc. – 1802 NE Loop 410, Suite 111, San Antonio, TX 78217

Beg. SW/C Section 31, Township 11 North, Range 4 East; thence N 1634.55'; thence E 299.69' to beg.; thence 521.90'; thence S 39.09'; thence S34°W 177.57'; thence W 176.28'; thence S 33.42'; thence W 244.11'; thence N 218.23' to beg.

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Retail Buildings, Inc. – c/o Jacobi & Associates – P.O. Box 702377, Tulsa, OK 74170

Beg. 1634.55' N & 50' E SW/C SW/4 Section 31, Township 11 North, Range 4 East; thence E 230'; thence S 190'; thence W 230'; thence N 190' to beg, etc..

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Colorvision, Inc. – c/o Burke & Associates – 3336 E 32<sup>nd</sup> Street, Suite 217, Tulsa, OK 74135-4442

Beg. 450' N SW/C Section 31, Township 11 North, Range 4 East; thence N 145'; thence E 220'; thence S 145'; thence W 220' to beg.

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Shawnee Mission Plaza, LLC – 132 W. Main St., Purcell, OK 73080

SW/4 Section 31, Township 11 North, Range 4 East...LESS Tracts

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Kickapoo RE, LLC – 4845 N. Kickapoo, Shawnee, OK 74804

Lot 2, Block 1, SHAWNEE MISSION PLAZA to Shawnee

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Mannford Land Company – P.O. Box 1809, Shawnee, OK 74802-1809

Lot 1, Block 2, SHAWNEE MISSION PLAZA, SECTION 2, to Shawnee

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Kwik Industries, Inc. – 4725 Nall Road, Dallas, Texas 75244

Lot 2, Block 1, SHAWNEE MISSION PLAZA, SECTION 4, to Shawnee

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Kaye S. Harrod – 1303 W. Farrall, Shawnee, OK 74801

Lot 1, Block 1, SHAWNEE MISSION PLAZA, SECTION 4, to Shawnee

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PCP Holdings, LP – P.O. Box 59924, Dallas, TX 75229

Lot 2, Block 1, SHAWNEE MISSION PLAZA, SECTION 7, to Shawnee

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Cole SB Shawnee, OK, LLC – c/o Starbucks Coffee Co. Store - #10976 Mail Stop S-R-E-3 P.O. Box 34067, Seattle, WA 98124

Lot 1, Block 1, SHAWNEE MISSION PLAZA, SECTION 7, to Shawnee

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D & G Properties, LLC – 4400 N. Kickapoo, Shawnee, OK 74804

Lot 7, Block 2, COLLEGE VIEW ADDITION to Shawnee

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Lifestyle Plaza, LLC – 4440 N. Kickapoo, Shawnee, OK 74804

Lot 8 & Lot 9 LESS N 40' of W 20', Block 2, COLLEGE VIEW ADDITION to Shawnee

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City of Shawnee – P.O. Box 1448, Shawnee, OK 74802-1448

N 40' of W 20' Lot 9, Block 2, COLLEGE VIEW ADDITION to Shawnee

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Cherie J. Buie Trust – 4411 N. Aydelotte, Shawnee, OK 74804

Lot 1, Block 1, BISON ADDITION to Shawnee

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## Ownership List

Order No. 1904296-SH99

Date February 3, 2014

Page No. 3

Owner

Brief Legal:

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Marion O. Pinson Trust – 4409 N. Aydelotte, Shawnee, OK 74804  
Lot 2 & N 10' Lot 3, Block 1, BISON ADDITION to Shawnee

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Lara N. Bailey – 4407 N. Aydelotte, Shawnee, OK 74804  
S 60' Lot 3, Block 1, BISON ADDITION to Shawnee

---

Saundra K. Reed – 4405 N. Aydelotte, Shawnee, OK 74804  
Lot 4, Block 1, BISON ADDITION to Shawnee

---

Bobby A. Brown – 4403 N. Aydelotte, Shawnee, OK 74804  
Lot 5, Block 1, BISON ADDITION to Shawnee

---

Sharon Harjo – 4412 N. Aydelotte, Shawnee, OK 74804  
Lot 1, Block 3, BISON ADDITION to Shawnee

---

Jane Davis – 4411 N. Chapman, Shawnee, OK 74804  
Lot 2, Block 3, BISON ADDITION to Shawnee

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The Bish Family Trust – 400 N. Hill St., Hobart, OK 73651  
Lot 3, Block 3, BISON ADDITION to Shawnee

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Kathleen J. Logan – 4407 N. Chapman, Shawnee, OK 74804  
Lot 4, Block 3, BISON ADDITION to Shawnee

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Bobby L. Kinnamon; Judy Kinnamon and Joel L. Kinnamon – 4405 N. Chapman, Shawnee, OK 74804  
Lot 5, Block 3, BISON ADDITION to Shawnee

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Dao D. Nguyen and Cynthia N. Nguyen – 4404 Kent Rhoad, Shawnee, OK 74804  
Lot 6, Block 3, BISON ADDITION to Shawnee

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Lorene A. Fields – 2 Springbrook Road, Shawnee, OK 74804  
Lot 17, Block 3, BISON ADDITION to Shawnee

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Charles Greening and Mary Jo Greening – 4406 N. Aydelotte, Shawnee, OK 74804  
Lot 18, Block 3, BISON ADDITION to Shawnee

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C. Leroy Jones Revocable Trust – 15 Juel Drive, Shawnee, OK 74804  
Lot 19, Block 3, BISON ADDITION to Shawnee

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Barbara J. Fields – 4410 N. Aydelotte, Shawnee, OK 74804  
Lot 20, Block 3, BISON ADDITION to Shawnee

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William H. Stewart and Barbara L. Stewart – 4412 N. Chapman, Shawnee, OK 74804  
Lot 1, Block 4, BISON ADDITION to Shawnee

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Johnny L. Kneisel – 4411 N. Pottenger, Shawnee, OK 74804  
Lot 2, Block 4, BISON ADDITION to Shawnee

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Michelle D. Reed – 4409 N. Pottenger, Shawnee, OK 74804  
Lot 3, Block 4, BISON ADDITION to Shawnee

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# Ownership List

Order No. 1904296-SH99

Date February 3, 2014

Page No. 4

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Owner

Brief Legal:

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Justin Combe – 4405 N. Pottenger, Shawnee, OK 74804

Lot 5, Block 4, BISON ADDITION to Shawnee

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Betty J. Hight – 4403 N. Pottenger, Shawnee, OK 74804

Lot 6, Block 4, BISON ADDITION to Shawnee

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R. Edward Hutcheson and Beverly Hutcheson – 12 Tanglewood Lane, Shawnee, OK 74804

Lot 23, Block 4, BISON ADDITION to Shawnee

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Edward J. Naas and Melissa D. Naas – 4406 N. Chapman, Shawnee, OK 74804

Lot 24, Block 4, BISON ADDITION to Shawnee

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Robert E. Williams – 4408 N. Chapman, Shawnee, OK 74804

Lot 25, Block 4, BISON ADDITION to Shawnee

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Timothy W. Breeding – 4410 N. Chapman, Shawnee, OK 74804

Lot 26, Block 4, BISON ADDITION to Shawnee

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Leonard J. Splitt and Larry R. Splitt, Sr. – 4412 N. Pottenger, Shawnee, OK 74804

Lot 1, Block 5, BISON ADDITION to Shawnee

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Erma Roberson – 4411 Bison Road, Shawnee, OK 74804

Lot 2, Block 5, BISON ADDITION to Shawnee

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June K. Pope – 4409 Bison Road, Shawnee, OK 74804

Lot 3, Block 5, BISON ADDITION to Shawnee

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Robert B. Bryson, Dixie L. Bryson and Brenda K. Reynolds – 4407 Bison Road, Shawnee, OK 74804

Lot 4, Block 5, BISON ADDITION to Shawnee

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Michael D. Chancellor – 4404 N. Pottenger, Shawnee, OK 74804

Lot 15, Block 5, BISON ADDITION to Shawnee

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Dorothy Taylor Trust – 4406 N. Pottenger, Shawnee, OK 74804

Lot 16, Block 5, BISON ADDITION to Shawnee

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Donna Kay Neely – 4408 N. Pottenger, Shawnee, OK 74804

Lot 17, Block 5, BISON ADDITION to Shawnee

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Roberta Kelly and John Kelly – 4410 N. Pottenger, Shawnee, OK 74804

Lot 18, Block 5, BISON ADDITION to Shawnee

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ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE CONCERNING THE ZONING CLASSIFICATION OF THE FOLLOWING DESCRIBED PROPERTY LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF SHAWNEE, OKLAHOMA, FROM C-3 TO PLANNED UNIT DEVELOPMENT AS DESCRIBED BELOW, AND AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SHAWNEE, ACCORDINGLY.

To-wit: PHASE 1- TRACT IA  
1-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:  
COMMENCING at the northeast corner of said Southeast Quarter, THENCE South 00°05'03" West, along the east line of said Southeast Quarter, a distance of 575.06 feet to a point, said point being 2064.74 feet North 00°05'03" East of the southeast corner of said Southeast Quarter, THENCE North 89°54'57" West a distance of 70.00 feet to a point on the westerly right-of-way line of Kickapoo Street as established by the EASEMENT in favor of the City of Shawnee recorded as Instrument No. 200500017401, Pottawatomie County, records, and the POINT OF BEGINNING; THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 85.00 feet; THENCE North 44°54'57" West a distance of 35.36 feet; THENCE North 89°54'57" West a distance of 205.00 feet; THENCE South 00°05'03" West a distance of 322.48 feet; THENCE South 89°54'57" East a distance of 242.00 feet to a point on the above referenced west right-of-way line of Kickapoo Street; THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 60.00 feet; THENCE North 89°54'57" West a distance of 242.00 feet; THENCE South 00°05'03" West a distance of 123.61 feet; THENCE North 89°54'57" West a distance of 677.26 feet; THENCE North 00°05'03" East a distance of 1,020.20 feet to a point on the southerly right-of-way line of Interstate Highway 40 as established by the EASEMENT in favor of the Oklahoma Department of Highways Recorded in Book 427, Page 159, Pottawatomie County records; THENCE southeasterly, along said southerly right-of-way line of Interstate Highway 40, the following two courses:  
1. South 79°28'06" East a distance of 369.51 feet,  
2. South 71 °56'1 0" East a distance of 338.87 feet;  
THENCE South 00°05'03" West, parallel with the east line of the said Southeast Quarter, a distance of 282.51 feet; THENCE South 89°54'57" East a distance of 221.56 feet to the POINT OF BEGINNING.

PHASE 1- TRACT IB  
1-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:  
COMMENCING at the southeast corner of said Southeast Quarter; THENCE North 00°05'03" East, along the east line of said Southeast Quarter, a distance of 370.00 feet; THENCE South 89°59'11" West a distance of 70.00 to a point on the westerly right-of-way line of Kickapoo Street as established by the EASEMENT in favor of the City of Shawnee recorded as Instrument No. 200500017401, Pottawatomie County, records, and the POINT OF BEGINNING; THENCE South 89°59'11" West, parallel with the south line of said Southeast Quarter, a distance of 300.00 feet; THENCE North 00°05'03" East, parallel with the east line of said Southeast Quarter, a distance of 988.89 feet; THENCE South 89°54'57" East a distance of 312.00 feet to a point on the above referenced westerly right-of-way line of Kickapoo Street; THENCE southerly, along the westerly right-of-way line of Kickapoo Street, the following three (3) courses:  
1. South 00°05'03" West a distance of 57.93 feet,  
2. North 89°54'57" West a distance of 12.00 feet,  
3. South 00°05'03" West a distance of 930.45 feet to the POINT OF BEGINNING.

PHASE 1- TRACT IC  
1-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows: COMMENCING at the northeast corner of said Southeast Quarter; THENCE South 00°05'03" West, along the east line of said Southeast Quarter, a distance of 796.30 feet to a point, said point being 1843.50 feet North 00°05'03" East of the southeast corner of said Southeast Quarter; THENCE North 89°54'57" West a distance of 58.00 feet to a point on the westerly right-of-way line of Kickapoo Street as established by the EASEMENT in favor of the City of Shawnee recorded as Instrument No. 200500017401, Pottawatomie County, records, and the POINT OF BEGINNING; THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 11.24 feet; THENCE North 89°54'57" West a distance of 242.00 feet; THENCE North 00°05'03" East a distance of 11.24 feet; THENCE South 89°54'57" East a distance of 242.00 feet to the POINT OF BEGINNING.

PHASE II  
1-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows: COMMENCING at the southeast corner of said Southeast Quarter; THENCE South 89°59'11" West, along the south line of said Southeast Quarter, a distance of 370.00 feet to the POINT OF BEGINNING; THENCE continuing South 89°59'11" West, along the south line of said Southeast Quarter, a distance of 607.25 feet; THENCE North 00°05'03" East, parallel with the east line of said Southeast Quarter, a distance of 1,500.32 feet; THENCE South 89°54'57" East a distance of 677.26 feet; THENCE South 00°05'03" West a distance of 140.39 feet; THENCE North 89°54'57" West a distance of 70.00 feet; THENCE South 00°05'03" West a distance of 1,358.89 feet to the POINT OF BEGINNING.

WHEREAS, pursuant to notice duly given as required by law, a public hearing was conducted by the Board of Commissioners of the City of Shawnee, Oklahoma on the 17<sup>th</sup> day of March, 2014 upon an application to rezone certain property located in the City of Shawnee, Oklahoma from C-3; Automotive, Commercial and Recreational District to P.U.D; Planned Unit.

WHEREAS, the Planning Commission of the City of Shawnee has conducted one or more public hearings on said application pursuant to notice as required by law and has submitted its final report and recommendation upon said application to the Board of Commissioners; and,

WHEREAS, it appears to be in the best interest of the City of Shawnee and the inhabitants thereof for said property to be rezoned as considered.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COMMISSIONERS OF THE CITY OF SHAWNEE, OKLAHOMA:

Section 1: That the following described property located within the corporate limits of the City of Shawnee, Oklahoma,

To-wit: PHASE 1- TRACT IA  
1-40 and Kickapoo  
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LEGAL DESCRIPTION

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distance of 322.48 feet; THENCE South 89°54'57" East a distance of 242.00 feet to a point on the above referenced west right-of-way line of Kickapoo Street; THENCE South 00°05'03" West, along said westerly right-of-way line, a distance of 60.00 feet; THENCE North 89°54'57" West a distance of 242.00 feet; THENCE South 00°05'03" West a distance of 123.61 feet; THENCE North 89°54'57" West a distance of 677.26 feet; THENCE North 00°05'03" East a distance of 1,020.20 feet to a point on the southerly right-of-way line of Interstate Highway 40 as established by the EASEMENT in favor of the Oklahoma Department of Highways Recorded in Book 427, Page 159, Pottawatomie County records; THENCE southeasterly, along said southerly right-of-way line of Interstate Highway 40, the following two courses:  
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LEGAL DESCRIPTION

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1-40 and Kickapoo  
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A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:  
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PHASE II  
1-40 and Kickapoo  
Shawnee, Oklahoma  
LEGAL DESCRIPTION

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-six (36), Township Eleven (11) North, Range Three (3) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma, and being more particularly described as follows:  
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THENCE South 89°54'57" East a distance of 677.26 feet; THENCE South 00°05'03" West a distance of 140.39 feet; THENCE North 89°54'57" West a distance of 70.00 feet; THENCE South 00°05'03" West a distance of 1,358.89 feet to the POINT OF BEGINNING.

be hereby rezoned P.U.D. Planned Unit Development District.

PASSED AND APPROVED this 17th day of March, 2014.

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WES MAINORD, MAYOR

(SEAL)

ATTEST:

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PHYLLIS LOFTIS, CMC, CITY CLERK

**Regular Board of Commissioners**

**14.**

**Meeting Date:** 03/17/2014

Preliminary Plat #S01-14

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Consideration of a Preliminary Plat for Shawnee Marketplace Planned Unit Development at the SWQ of I-40 and Kickapoo Street. Case #S01-14 Applicant: Cates-Clark & Associates, LLP

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Attachments

Preliminary Plat I-40 & North Kickapoo

RECOMMENDATION TO:

MAYOR  
BOARD OF CITY COMMISSIONERS  
CITY OF SHAWNEE

RECOMMENDATION FROM:

CITY OF SHAWNEE  
PLANNING COMMISSION

SUBJECT:

APPLICANT: Cates-Clark & Associates, LLP (Daniel Stewart)  
FOR: Preliminary Plat  
LOCATION: SWQ of Interstate-40 & Kickapoo St, Shawnee, OK  
PROJECT#: 140013 Case# S01-14

LEGAL DESCRIPTION:

SEE OWNERSHIP LIST

CURRENT CLASSIFICATION: C-3; Automotive and Commercial Recreation District  
REQUESTED CLASSIFICATION: Planned Unit Development  
PROPOSED PROPERTY USE: Retail/Restaurant

PLANNING COMMISSION MEETING DATE: 03-05-2014

PLANNING COMMISSION RECOMMENDATION: Approval

VOTE OF THE PLANNING COMMISSION: **MEMBERS PRESENT:** 6

MEMBERS:	1ST	2ND	AYE	NAY	ABSTAIN	COMMENTS
BERGSTEN	X		X			
CARTER		X	X			
HOSTER			X			
TURNER (CHAIRMAN)			X			
SILVIA (VICE-CHAIRMAN)			X			
COWEN			X			
SALTER						<b>Absent</b>

RESPECTFULLY SUBMITTED,  
*Cheyenne Lincoln*  
SECRETARY, PLANNING COMMISSION

ACTION BY CITY COMMISSION:

PUBLIC HEARING SET: \_\_\_\_\_

DATE OF ACTION: \_\_\_\_\_

ADOPTED \_\_\_\_\_ DENIED \_\_\_\_\_

ORDINANCE NO. \_\_\_\_\_

**Regular Board of Commissioners**

**15.**

**Meeting Date:** 03/17/2014

Chapter 8 Code Book Changes

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Discussion, consideration and possible action on an ordinance repealing and amending portions of Chapter 8 of the Shawnee Municipal Code, dealing with Businesses, Permits and Licenses.

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Attachments

Chapter 8 Changes

Ordinance Chapter 8 changes

## **MEMORANDUM**

**TO: Mayor and City Commissioners**

**FROM: Mary Ann Karns, City Attorney**

**RE: Repealing of certain Articles and Amendments to Chapter 8, “Businesses, Permits and Licenses”**

**DATE: March 13, 2014**

On your agenda there is an ordinance amending Chapter 8, “Businesses, Permits and Licenses”.

The amendments are providing that fees for issuance of licenses and permits shall be set by resolution of the Commission; that all appeals for denial, and that suspension or revocation for permits shall be made to the Commission. In addition, staff has determined that some business licenses and regulations are no longer necessary to protect the public health and safety, and those provisions are being repealed. These licenses are for bowling alleys, skating rinks, family and special recreation centers, and snow cone merchants. These businesses would be controlled through the zoning and subdivision regulations already in place.

Staff recommends approval.

n:\attorney\recodification\ordinance covermemorandum.doc

ORDINANCE NO. \_\_\_\_

**AN ORDINANCE REPEALING AND AMENDING CHAPTER EIGHT OF THE SHAWNEE MUNICIPAL CODE, "BUSINESSES, PERMITS AND LICENSES," REPEALING PERMIT AND LICENSE REQUIREMENTS FOR CERTAIN BUSINESS, PROVIDING FOR SCHEDULES, PROVIDING FOR HEARING ON REVOCATION, PROVIDING FOR REPEAL, PROVIDING FOR SEVERABILITY, PROVIDING FOR CODIFICATION AND DECLARING AN EMERGENCY**

**WHEREAS**, the Code of Ordinances of the City of Shawnee must be amended from time to time to comply with the laws of the State of Oklahoma and the Charter of the City of Shawnee; and

**WHEREAS**, the Mayor and City Commission have determined that other amendments must be made for the more efficient and practical operations for the City of Shawnee:

**IT IS THEREFORE ORDAINED BY THE MAYOR AND CITY COMMISSIONERS OF THE CITY OF SHAWNEE, OKLAHOMA THAT CHAPTER 8 OF THE SHAWNEE MUNICIPAL CODE BE AMENDED AS FOLLOWS:**

**Section 1:** Section 8-1, "Bonds and Insurance," is amended by the addition of the following sentence:

The amounts of all bonds, insurance and fees related to the issuance licenses and permits set out in this Chapter shall be set by resolution of the Commission.

**Section 2:** The codifier is to change all references to fees, fines, insurance and bonds throughout this Chapter 8 to provide that they shall be set by resolution of the commission.

**Section 3:** Section 8-37, "Appeal from the denial, suspension or revocation of alarm permit and user fees," shall be amended to provide that appeal shall be made to the City Commission.

**Section 4:** Article III, "Bowling Alleys," is repealed in its entirety.

**Section 5:** Article IV, "Skating Rinks," is repealed in its entirety.

**Section 6:** Article V, "Family and Special Recreation Centers," is repealed in its entirety.

**Section 7:** Article XI, "Junkyards and Wrecking Yards," is repealed and amended.

**Section 8:** Article XII, "Barterers," is repealed in its entirety.

**Section 9:** Locations and restrictions in this Chapter are not to be construed as authorizing business locations in violation of the City's zoning code.

**Section 10: REPEALER.** All sections, subsections, clauses, and sentences of existing law in conflict with this ordinance are repealed.

**Section 11: SEVERABILITY.** The provisions of this ordinance are severable and, if any sentence, provision, or other part of this Ordinance shall be held invalid, the decision of the court so holding shall not affect or impair any of the remaining parts or provisions of this ordinance.



**Section 12: CODIFICATION.** This Ordinance shall be codified in the Shawnee Municipal Code, and the codifier is authorized to set out the ordinance as appropriate.

**Section 13: EMERGENCY.** Because it is necessary for the protection of the public's health, safety, and welfare, an emergency is declared to exist. This ordinance shall be effective immediately upon its passage and publication.

PASSED AND APPROVED this 17<sup>th</sup> day of March, 2014.

\_\_\_\_\_  
WES MAINORD, MAYOR

**ATTEST:**

\_\_\_\_\_  
PHYLLIS LOFTIS, CMC, CITY CLERK

(SEAL)

Approved as to form and legality on the 17<sup>th</sup> day of March, 2014 by City Attorney Mary Ann Karns

\_\_\_\_\_  
MARY ANN KARNS, CITY ATTORNEY

Emergency separately approved on this 17<sup>th</sup> day of March, 2014.

\_\_\_\_\_  
WES MAINORD, MAYOR

**ATTEST:**

\_\_\_\_\_  
PHYLLIS LOFTIS, CMC, CITY CLERK

**Regular Board of Commissioners**

**16.**

**Meeting Date:** 03/17/2014

Changes to Chapter 2 of Municipal Code

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Discussion, consideration and possible action to instruct staff to make changes in Chapter 2 of the Shawnee Municipal Code.

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Attachments

Chapter 2 changes request

## MEMORANDUM

**To: Mayor and City Commissioners**  
**From: Mary Ann Karns, City Attorney**  
**Re: Amendments to Shawnee Municipal Code, Chapter 2, Administration**  
**Date: March 11, 2014**

Attached is a draft ordinance that will make amendments to Chapter 2 of the Code. It is being presented for discussion purposes with a goal of having it on your agenda for final approval on April 7.

Most of these are housekeeping amendments; others, however, are substantive.

1. We repealed Section 2-1, Definitions, because there were no definitions therein.
2. Section 2-2: We cannot trademark or copyright a city seal (restriction in federal law). We can, however, make it an offense for someone to use the City seal to imply support, sanction, etc., by the City of Shawnee, and that has been done.
3. The Sale of Property provision in Section 2-5 has been altered. It allows for the sale of real property on the open market as well as by auction or bids. It requires a sealed, confidential appraisal, and requires the City to refuse to sell the property unless it will bring at least 80% of the appraised value. The 80% number came from the value required by the Land Commission for school land. You can make that any percentage you wish; you could also require some sort of super majority for the sale if the amount was not 80%. It requires at least a 15 day public notice of intent to sell. It does not require that the City list the property with a realtor/broker. We can make that clear, and also state that no commission will be paid.  
This change is being recommended because the City now owns two tracts of considerable value: the land acquired for the park, and the land acquired for the CVB visitor center. Marketing the properties on the open market rather than selling by auction or sealed bids is far more likely to obtain the best price. **This is a section you will want to discuss.**
4. Section 2-32 is being clarified to provide that the manager prepares an agenda which then goes to the City Clerk for preparation and posting as official agenda. Two commissioners must agree to put an item on the agenda should the manager decline to put it on. This adjustment was based on feedback received from commissioners. **If you do not want this change, it is an easy fix.**
5. Sections 2-33, 2-34 and 2-36 have been modernized.
  - a. It is no longer necessary to rise to speak, nor for the minutes to be read aloud.
  - b. It is now prohibited to text, e-mail, telephone or privately communicate with other persons during the meeting. This is to comply with the open meeting law.
  - c. When someone leaves the room during an item, he cannot vote upon return. This is also for open meeting law purposes and to preserve even the appearance of impropriety that a commissioner is receiving additional information or being influenced about a vote during the discussion of the item.
  - d. Once a member has declared an intention to recuse, or been excused from voting, he is not to participate in the discussion.

6. Section 2-40 is amended so that a simple majority can convene an executive session, and provides that the session must comply with state law, which does change from time to time.
7. Section 2-107, which deals with the purchases of supplies and equipment, is being amended to extend that provision to the purchases of services.
8. Section 2-142: Vacation and sick leave is being repealed as those provisions are now covered in various city policies.
9. Section 2-171: The Department of Law is amended to set out the items placed in my contract last year about supervision of employees in that department and the requirement that they are subject to city policies.
10. Section 2-172: The position of Deputy Treasurer has not been filled for some time and is being repealed.
11. Section 2-206: Duties of City Clerk. There are subsections that require the Clerk to maintain records of all licenses and permits issued by the City. That office issues very few licenses and permits. The proposed amendment provides that the City Clerk issues licenses and permits unless delegated to other Departments by the City Manager, and that the Clerk's records are of licenses and permits reported to that office.
12. Section 2-286 regarding payment of judgments against the City makes it clear the Commission has its choice whether to pay judgments from existing funds or to place on the sinking fund assessments.
13. Section 2-287 is repealed as those procedures are fully set out in city policies.
14. Section 2-291(b), Petty Cash, stated that the account *should* not exceed \$1,000; the amendment requires that the amount be \$1,000 or less.
15. Article VI: Most of the human rights section is being repealed, though the offenses are not. We have not had a Human Rights Commission in some years. It will still be an offense to discriminate in public accommodations. Public accommodations and discriminatory practices are still defined. An offense will be taken care of in municipal court, rather than in an administrative procedure through a separate commission.
16. Section 2-496: Records Management is being changed to reflect updates in preservation of records. The City Clerk's office has been working to prepare a records retention schedule that is more comprehensive than the one provided by state law.
17. We are adding a section acknowledging the City has complied with the "red flag policy" regarding identity theft.

**Regular Board of Commissioners**

17.

**Meeting Date:** 03/17/2014

Sales Tax

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Acknowledge Sales Tax Report received March 2014.

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Attachments

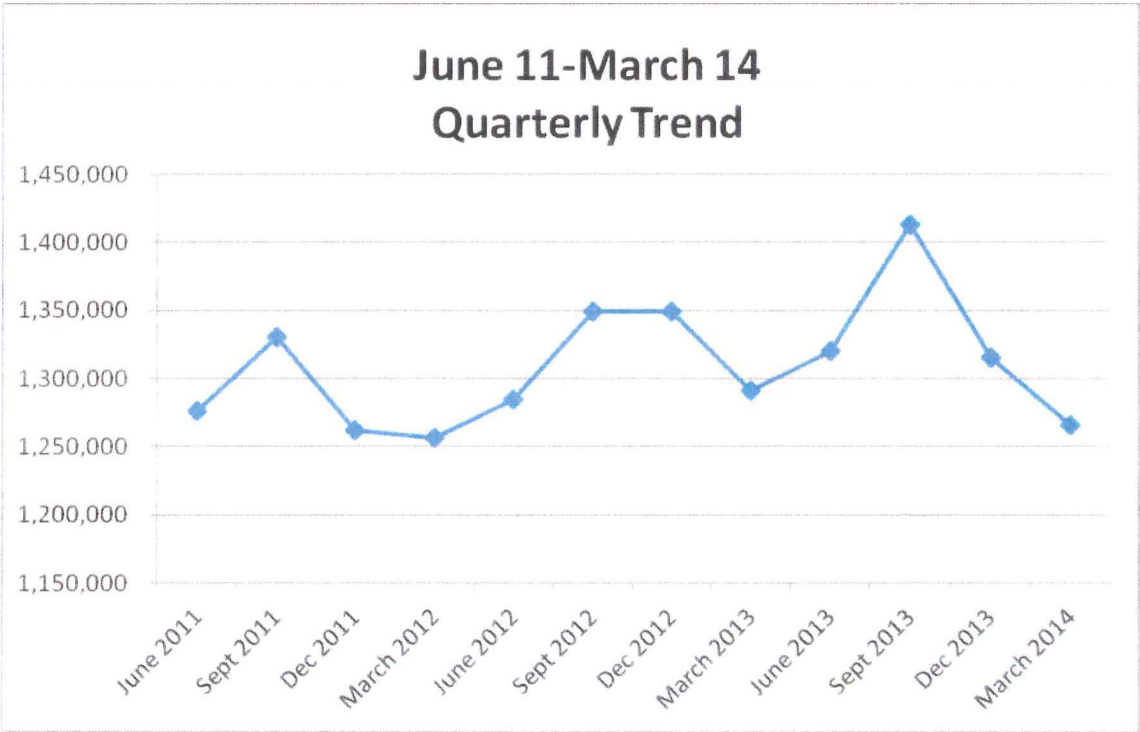
Sales Tax

# City of Shawnee Memorandum



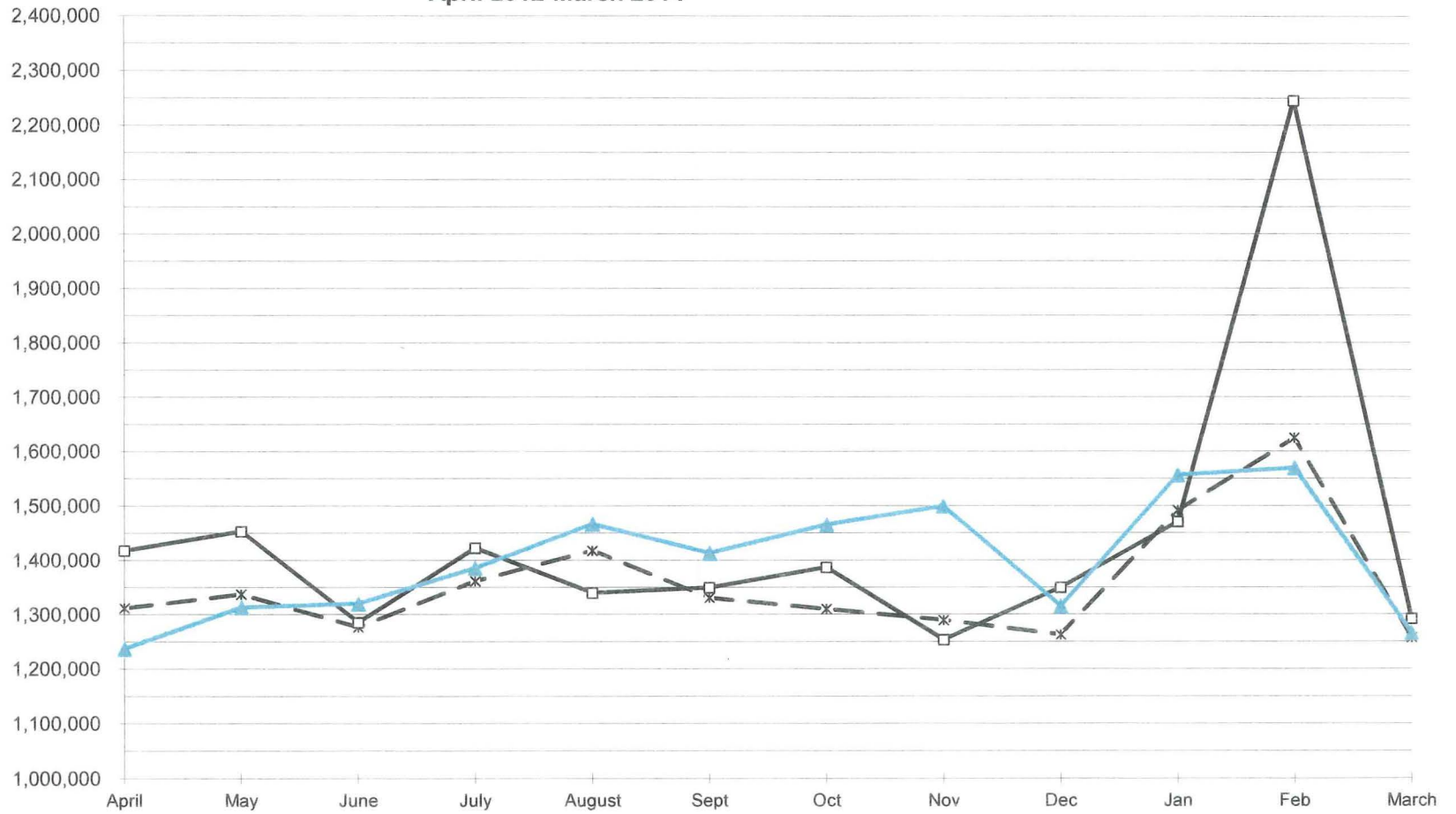
**To:** Mayor and City Commissioners  
**CC:** Brian McDougal, City Manager  
**From:** Cynthia R Sementelli, Finance Director  
**Date:** March 10, 2014  
**Re:** City Sales Tax Report

March Sales collected this month was \$1,265,687, compared to last year's we are down \$25,845. For the fiscal year we are still up 3.74% or \$466,728. Compared to 2012 numbers we are up only \$8,800.



	April 2011	April 2012	April 2013	Increase (Decrease)	
	through	through	through	Over Prior Year	
Month	March 2012	March 2013	March 2014	Amount	Percentage
April	1,311,387	1,417,533	1,236,564	(180,969)	(12.77%)
May	1,337,029	1,452,759	1,312,710	(140,049)	(9.64%)
June	1,276,542	1,284,872	1,319,813	34,941	2.72%
July	1,361,273	1,422,363	1,385,055	(37,309)	(2.62%)
August	1,417,308	1,339,539	1,466,250	126,711	9.46%
Sept	1,330,420	1,349,282	1,412,708	63,426	4.70%
Oct	1,309,924	1,386,657	1,465,063	78,406	5.65%
Nov	1,289,143	1,253,140	1,499,183	246,043	19.63%
Dec	1,262,401	1,349,459	1,315,025	(34,433)	(2.55%)
Jan	1,491,647	1,470,565	1,556,616	86,051	5.85%
Feb	1,624,568	2,245,070	1,569,453	(675,618)	(30.09%)
March	1,256,806	1,291,532	1,265,687	(25,845)	(2.00%)
Total	13,387,075	13,726,169	13,968,986	242,817	1.77%
		Prior Year	Current Year	Increase (Decrease)	
Period		Actual	Actual	Over Prior Year	
Fiscal Year to Date		13,107,607	12,935,040	(\$172,568)	(1.32%)
one time removed		12,468,312	12,935,040	\$466,728	3.74%
Fiscal Year to Date Budget based					
		Current Year	Current Year	Budget Variance	
Period		Budget	Actual	Favorable	(Unfavorable)
Fiscal Year to Date		12,468,312	12,935,040	\$466,728	3.74%

**CITY OF SHAWNEE  
SALES TAX COLLECTIONS  
April 2012-March 2014**



- \*— April 2011 through March 2012
- April 2012 through March 2013
- ▲— April 2013 through March 2014



**Regular Board of Commissioners**

**18.**

**Meeting Date:** 03/17/2014

City Manager Report

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

City Manager's Report

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**Regular Board of Commissioners**

**19.**

**Meeting Date:** 03/17/2014

Consider Bids

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Consider Bids:

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**Regular Board of Commissioners**

**19. a.**

**Meeting Date:** 03/17/2014

Award Range Tower Project

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Police Range Tower Project (Award)

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Attachments

Notice and Bidders List

Bid Tab

NOTICE TO BIDDERS

Sealed bids will be received by the City of Shawnee, 9th & Broadway, P. O. Box 1448, Shawnee, Oklahoma, up to 4:00 p.m., Monday, March 03, 2014, for:

**New Shawnee Police Range Tower Project**  
10500 N. Kickapoo  
Shawnee, Oklahoma

**Instructions and bid documents are available for viewing at the Fairview Cemetery Office, located at 1400 N. Center Street Shawnee, Oklahoma 74801 from 8:00 am to 4:00 pm Monday – Friday.**

**Optional pre-bid meetings have been set for January 31st, February 10th, and February 12th at 9:00 am at 10500 N. Kickapoo Shawnee, Oklahoma 74804**

Each bid shall be filed in a sealed envelope. On the front of each envelope shall be written the following words to the left of the address:

**BID – New Shawnee Police Range Tower Project**  
**March 03, 2014**

The ORIGINAL bid shall be filed with the City Clerk of the City of Shawnee at **16 W. 9<sup>th</sup> Street**, together with a sworn non-collusion affidavit in writing that the bidder has not entered into any agreement, expressed or implied, with any other bidder, or bidders, for the purpose of limiting the bid, or bidders or parcel out to any bidder, or bidders or any other persons, any part of the contract or subject matter of the bid.

Bids will be opened and considered by the Board of City Commissioners at a Public Meeting in the City Hall Commission Chambers, 16 W. 9<sup>th</sup> Street Shawnee, Oklahoma 74801, at 6:30 p.m., Monday, March 03, 2014.

The City of Shawnee reserves the right to reject any or all bids.

CITY OF SHAWNEE, A Municipal Corporation

By: \_\_\_\_\_  
Brian E. Mcdougal, City Manager



(SEAL)  
ATTEST:

By: \_\_\_\_\_

BIDDER'S LIST FOR  
POLICE FIRING RANGE TOWER PROJECT

DATE TO BE OPENED: 03-03-2014

**Business Name:** Diversified Construction of Oklahoma, Inc.

**Contact:** Chris Bright

**Address:** 6288 Boucher Drive

Edmond, OK 73034-9257

**Telephone:** (405) 340-3164

**E-Mail:** chrisb@divconst.net

**Business Name:** W.L. McNatt & Company

**Contact:** Jason Masterson

**Address:** 217 E. Sheridan

Oklahoma City, OK 73104

**Telephone:** (405) 232-7245

**E-Mail:** jason@wlmcnatt.com

**Business Name:** Eagle Vision Construction

**Contact:** Mitch Gregory

**Address:** PO Box 1225

Shawnee, OK 74802

**Telephone:** (405) 249-8057

**E-Mail:** mitchwgregory@gmail.com

**Business Name:** Oklahoma Construction LLC

**Contact:** Brandon Columbus

**Address:** 21 Oakridge Drive

Shawnee, OK 74804

**Telephone:** (405) 275-0019

**E-Mail:** bc@oklahomaconstruction.net

**Business Name:** \_\_\_\_\_

**Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Telephone:** \_\_\_\_\_

**E-Mail:** \_\_\_\_\_

**Business Name:** \_\_\_\_\_

**Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Telephone:** \_\_\_\_\_

**E-Mail:** \_\_\_\_\_

**Business Name:** \_\_\_\_\_

**Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Telephone:** \_\_\_\_\_

**E-Mail:** \_\_\_\_\_

**BID TABULATION SHEET**

**POLICE FIRING RANGE TOWER PROJECT**

**MARCH 3, 2014**

**BIDDER**

**AMOUNT**

**W. L. McNATT & COMPANY**

Oklahoma City, OK

\$ 249,000- / \$ 8,000-

**DIVERSIFIED COSTRUCTION**

Edmond, OK

\$ 266,000- / \$ 5,000-

**OKLAHOMA CONSTRUCTION & REMODELING LLC**

Shawnee, OK

\$ 181,600- /

\_\_\_\_\_

**Regular Board of Commissioners**

**21.**

**Meeting Date:** 03/17/2014

Administrative Reports

Submitted By: Donna Mayo, Administration

Department: Administration

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Information

Title of Item for Agenda

Administrative Reports, including but not limited to:

- Main Street Streetscape Project
  - Kickapoo Paving Project from Kickapoo Spur to Farrall Street
  - Update on the Convention and Visitors Bureau
- 

Attachments

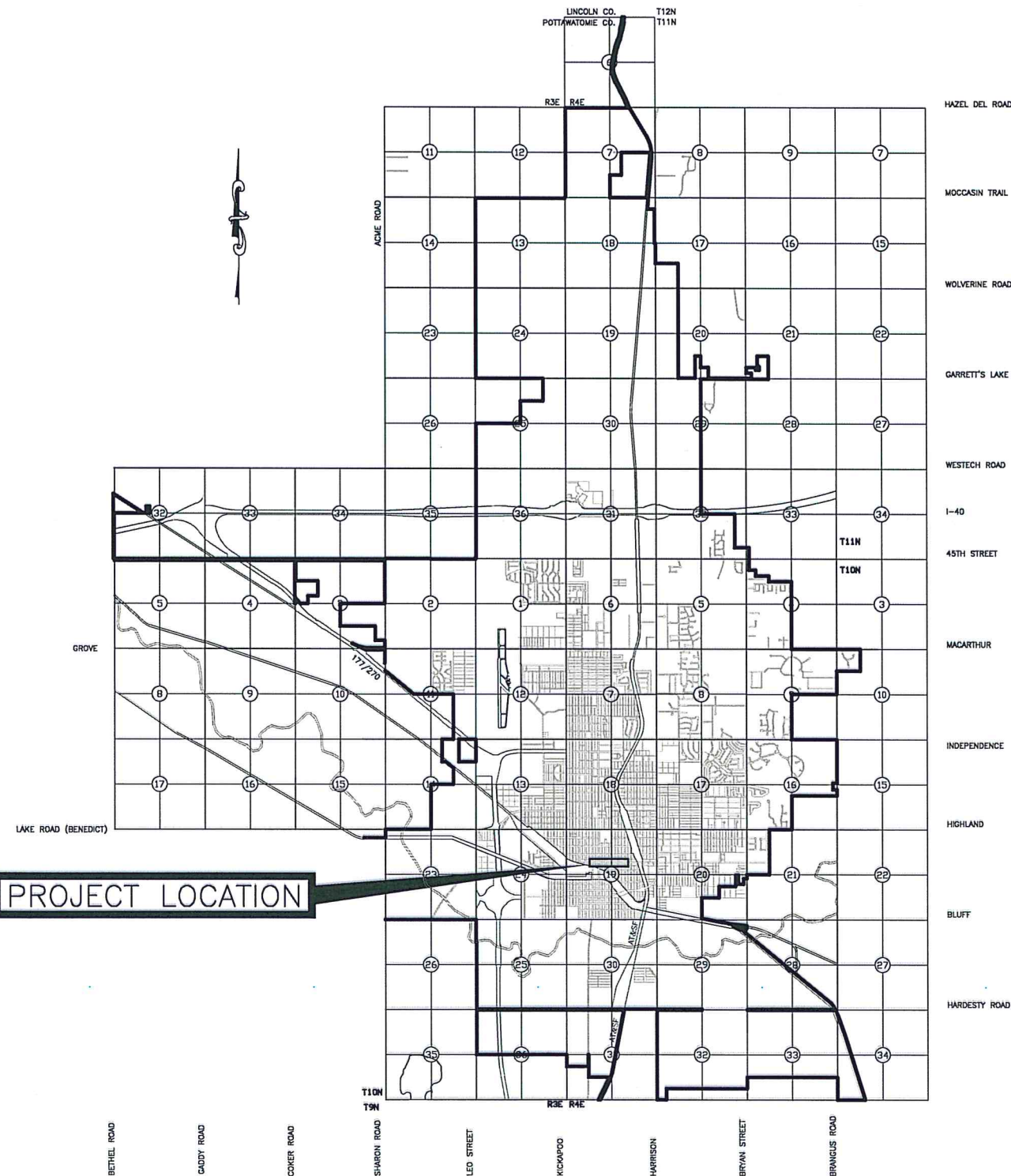
MainStreet Streetscape

Kickapoo Spur to Farrall

Kickapoo Spur to Farrall Schedule



# MAIN ST. STREETScape FROM BEARD ST TO OKLHOMA AVE



COS-PW-xx-xx

# THE CITY OF SHAWNEE

**WES MAINORD**  
MAYOR

**KEITH HALL**  
COMMISSIONER

**LINDA AGEE**  
COMMISSIONER

**JOHN WINTERRINGER**  
COMMISSIONER

**PAM STEPHENS**  
COMMISSIONER

**JAMES HARROD**  
COMMISSIONER

**STEVE SMITH**  
COMMISSIONER



**BRIAN McDOUGAL**  
CITY MANAGER

**PHYLLIS LOFTIS**  
CITY CLERK

**CYNTHIA SEMENTELLI**  
CITY TREASURER

## SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	PAY QUANTITIES & NOTES
3	LOCATION MAP
4 - 6	DETAIL SHEETS
7 - 8	REMOVAL SHEETS
9 - 10	PROPOSED LAYOUT SHEETS
11 - 12	GRADING SHEETS
13 - 14	SIGNING & STRIPING
15 - 16	WATERLINE SHEETS

## UTILITY LOCATION NUMBERS

STATE WIDE	1-800-522-6543
OUT OF STATE	1-800-654-8249
LOCAL	1-405-273-1250

## ENGINEERING DEPARTMENT

APPROVED AS FINAL PLANS:

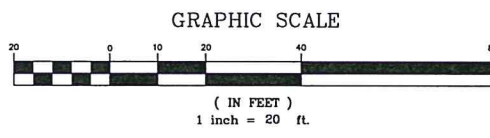
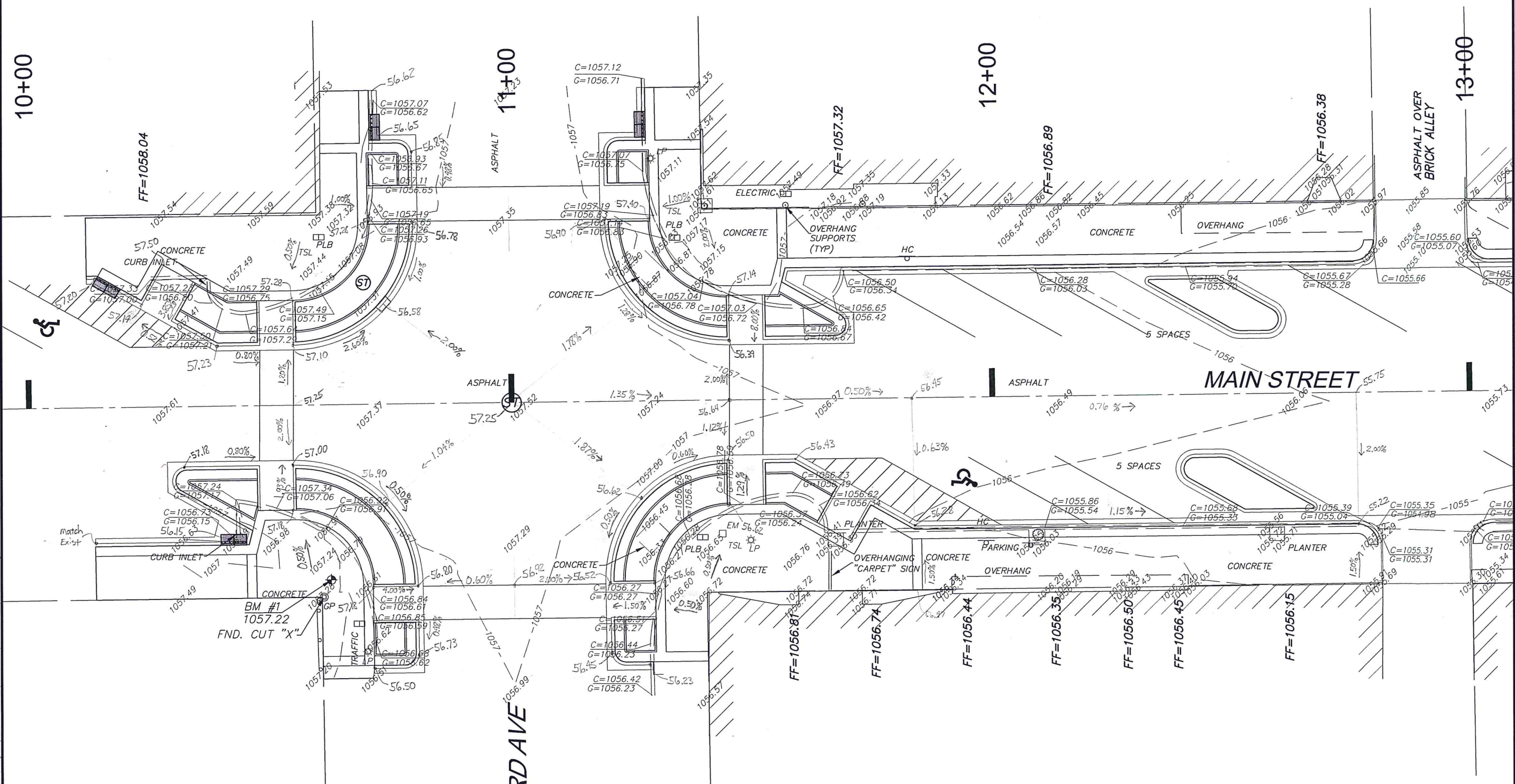
MAYOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

CITY CLERK \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

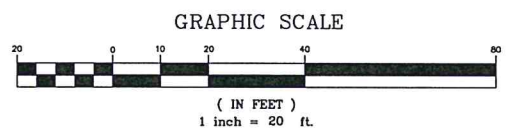
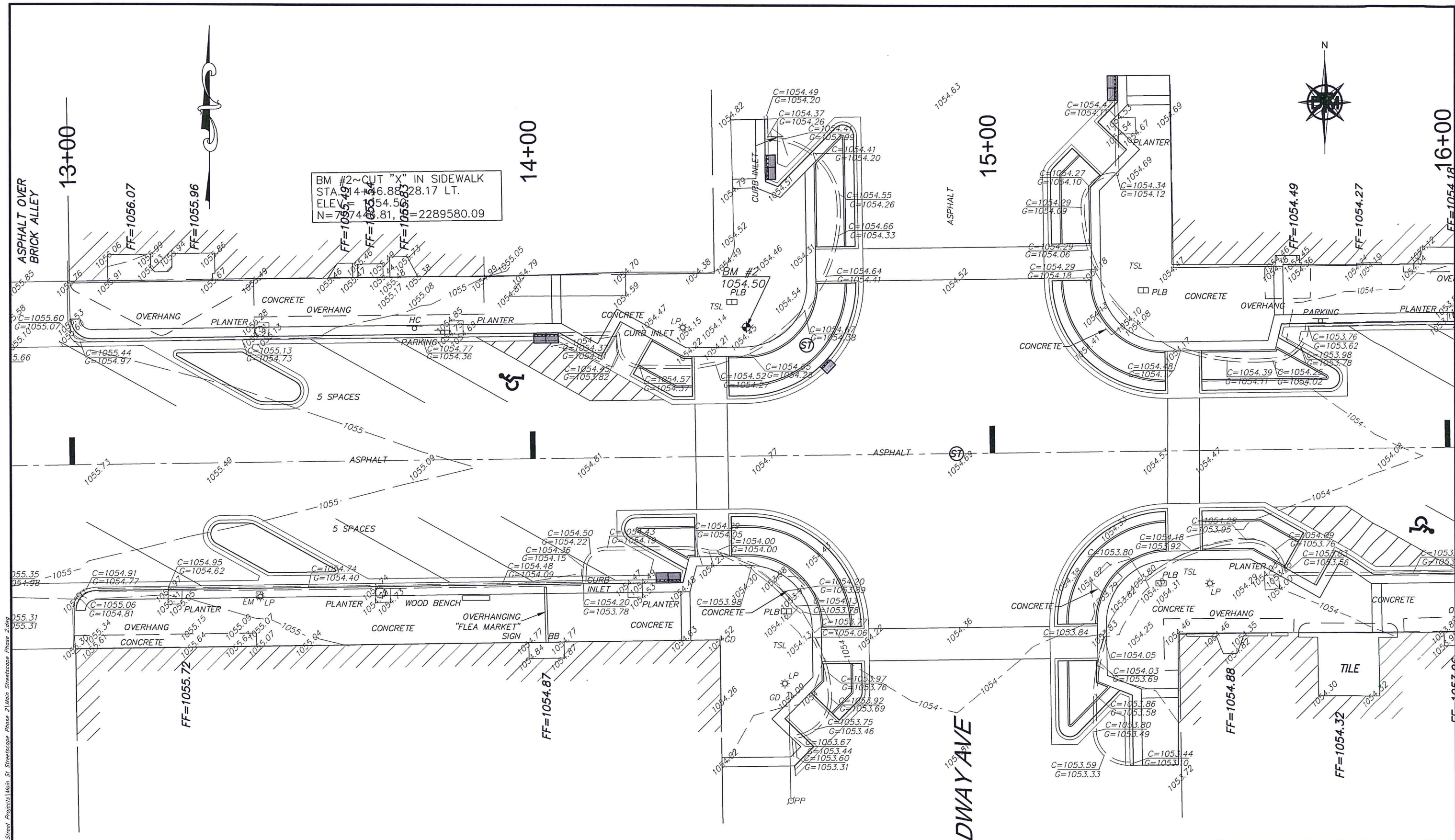
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 #1~CUT "X" IN SIDEWALK  
 10+62.04 36.44 RT.  
 V.= 1057.22  
 27376.74, E=2289196.21



DOWNTOWN STREETSCAPE				
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DRAWN BY:	NA	AS-BUILT:		PROJECT NO.:
CHECKED BY:	NA			SHEET NO.:
CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA				
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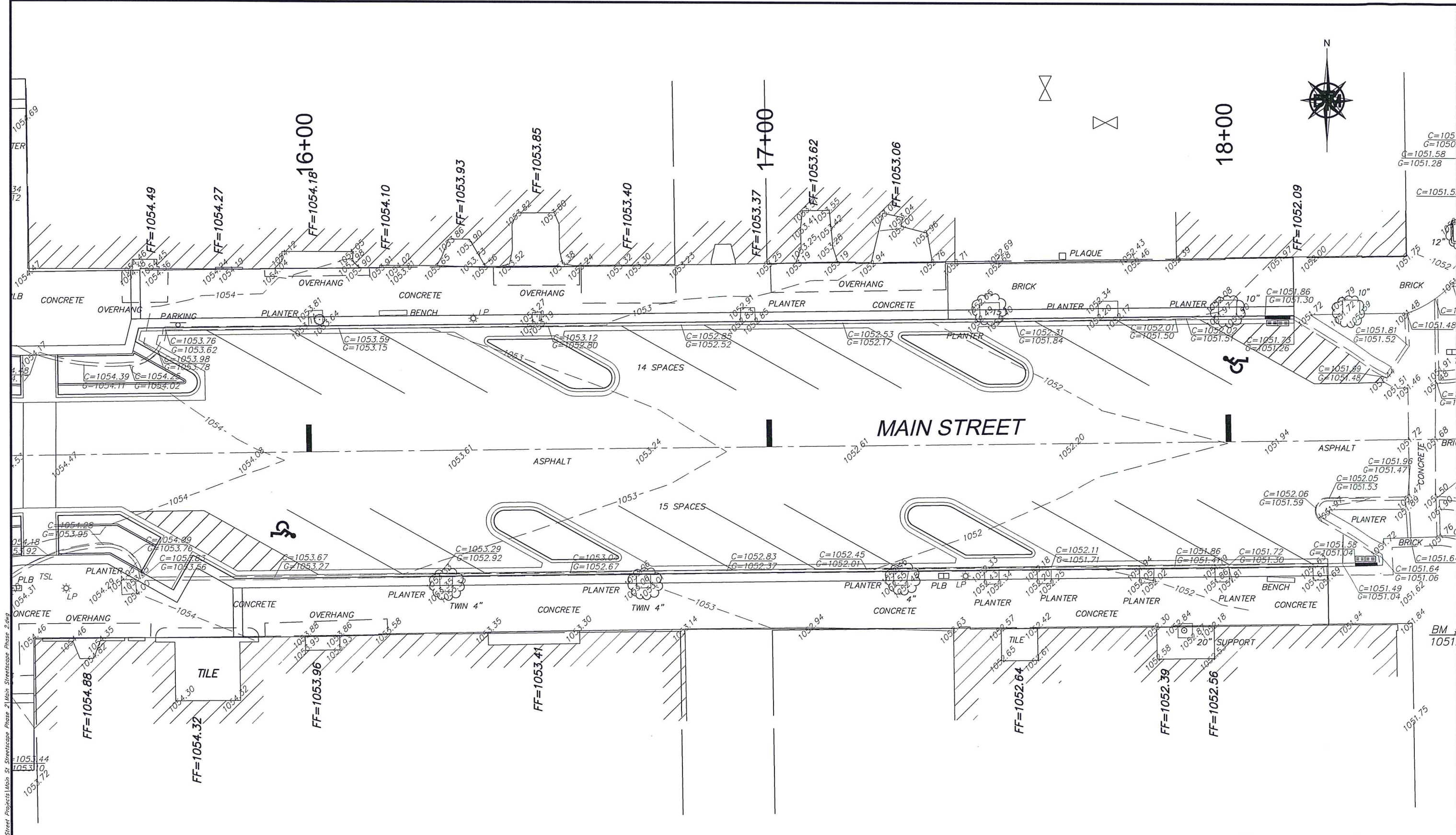


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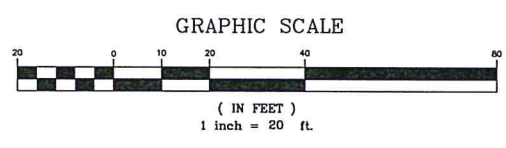


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CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA			ENGINEERING DEPARTMENT	
				SHEET NO.
				02



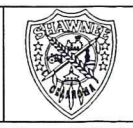


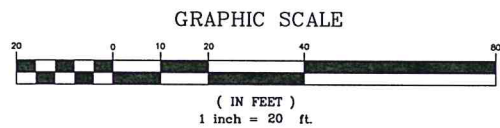
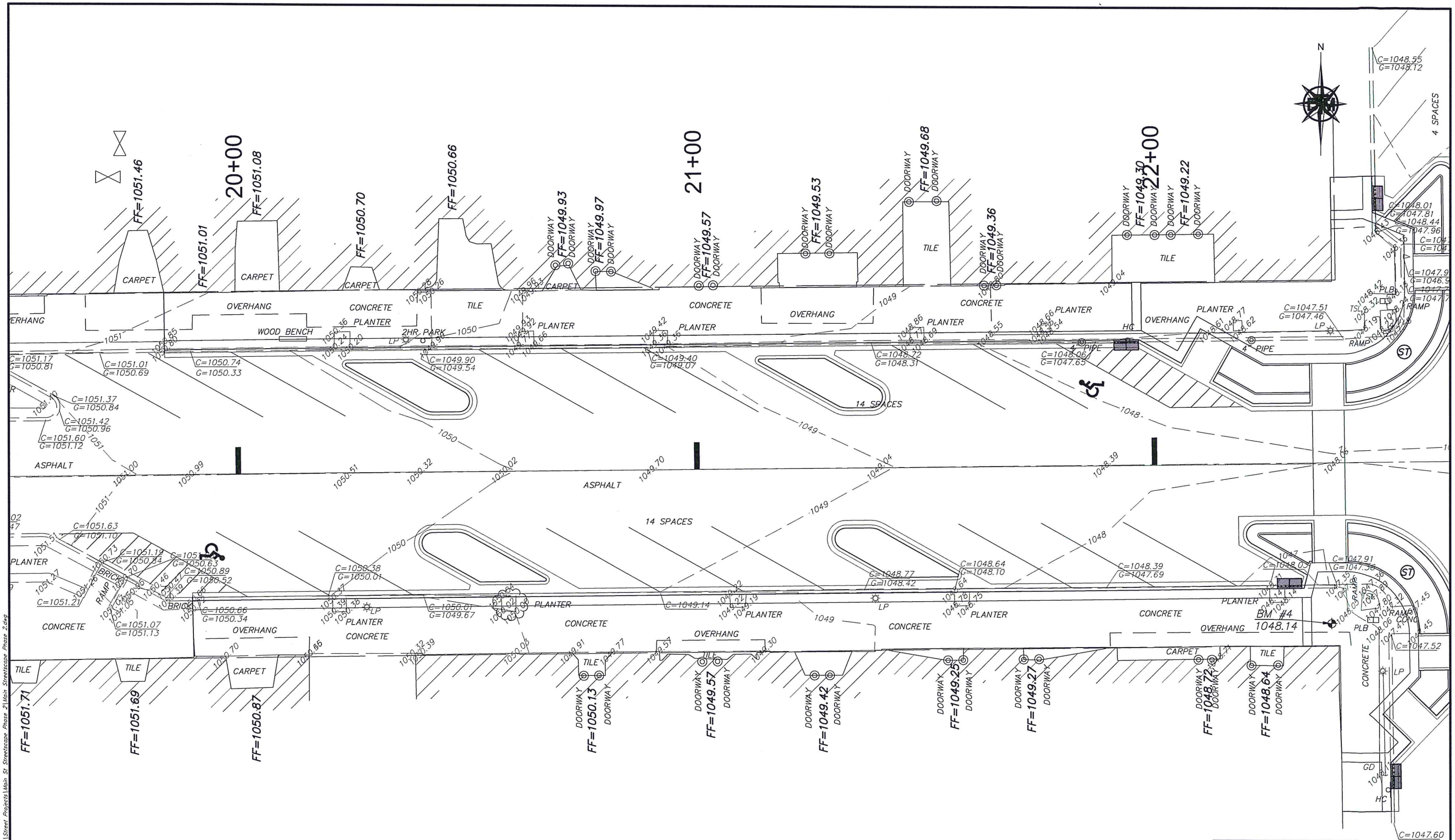
A-1 Engineering Engineering Projects Main St. Streetscape Phase 2 Main Streetscape Phase 2



BM #3~CUT "X" IN SIDE  
 STA. 18+57.22 36.38 R  
 ELEV.= 1051.93  
 N=727388.10, E=2289

DOWNTOWN STREETScape				
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ENGINEER		DATE	SCALE	PROJECT NO.
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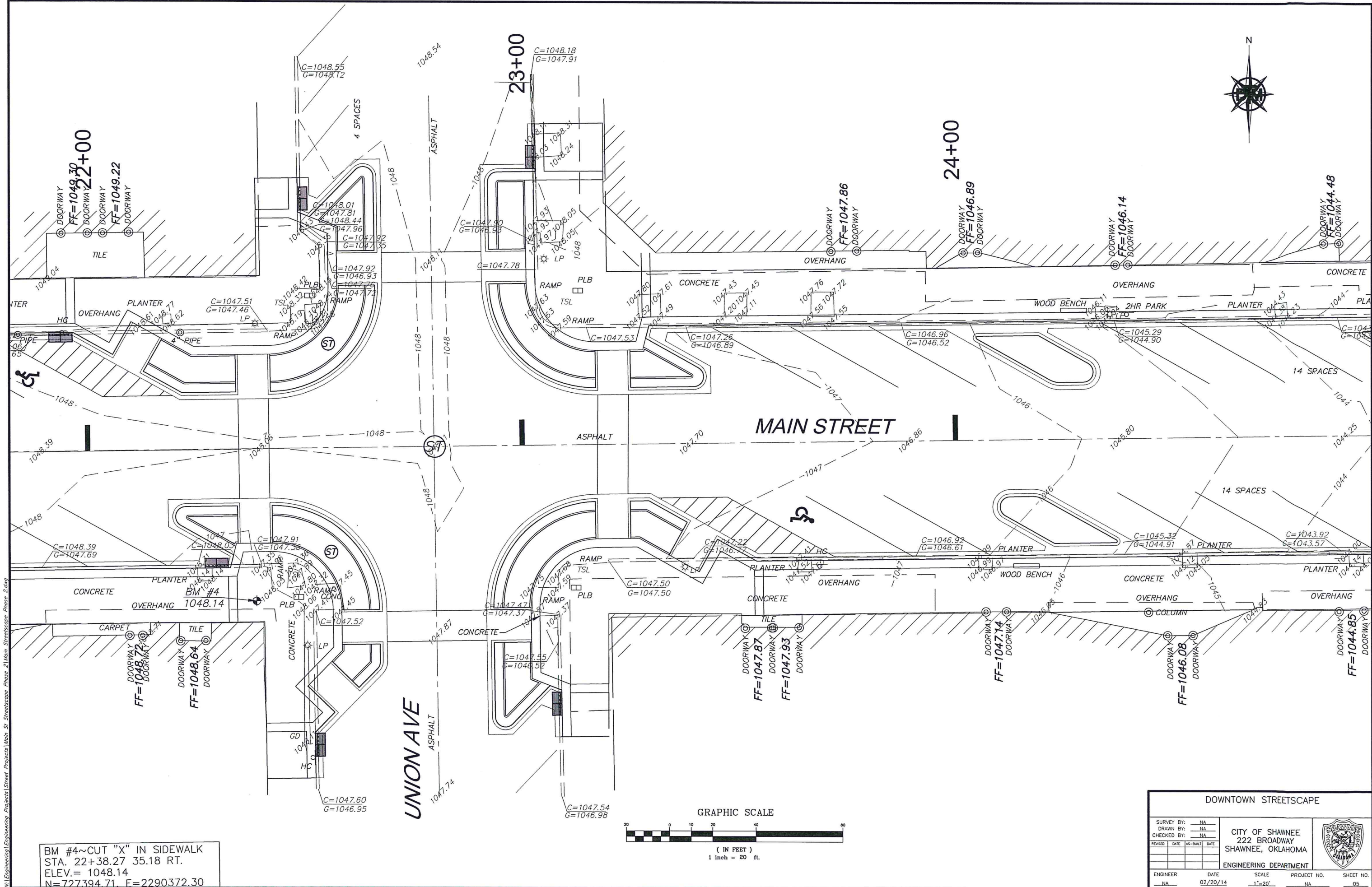




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 N=727394.71, E=

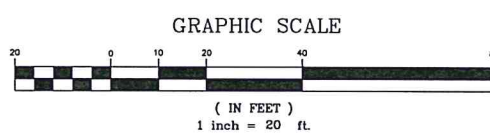
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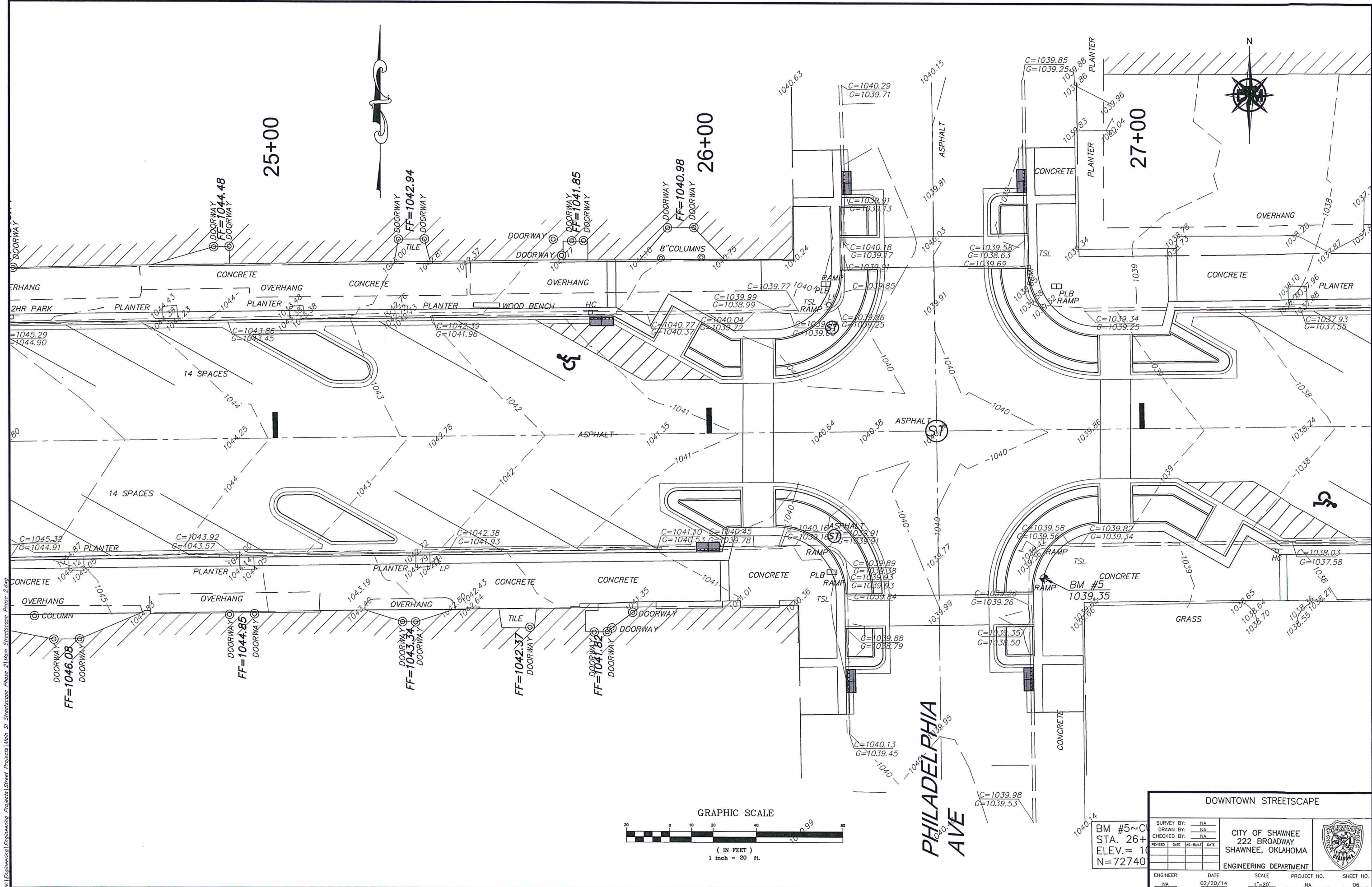


M:\Engineering\Engineering Projects\Main St Streetscape Phase 2\Main Streetscape Phase 2.dwg


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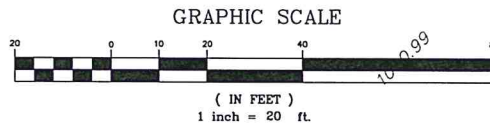
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REVISION	DATE	AS-BUILT	DATE	
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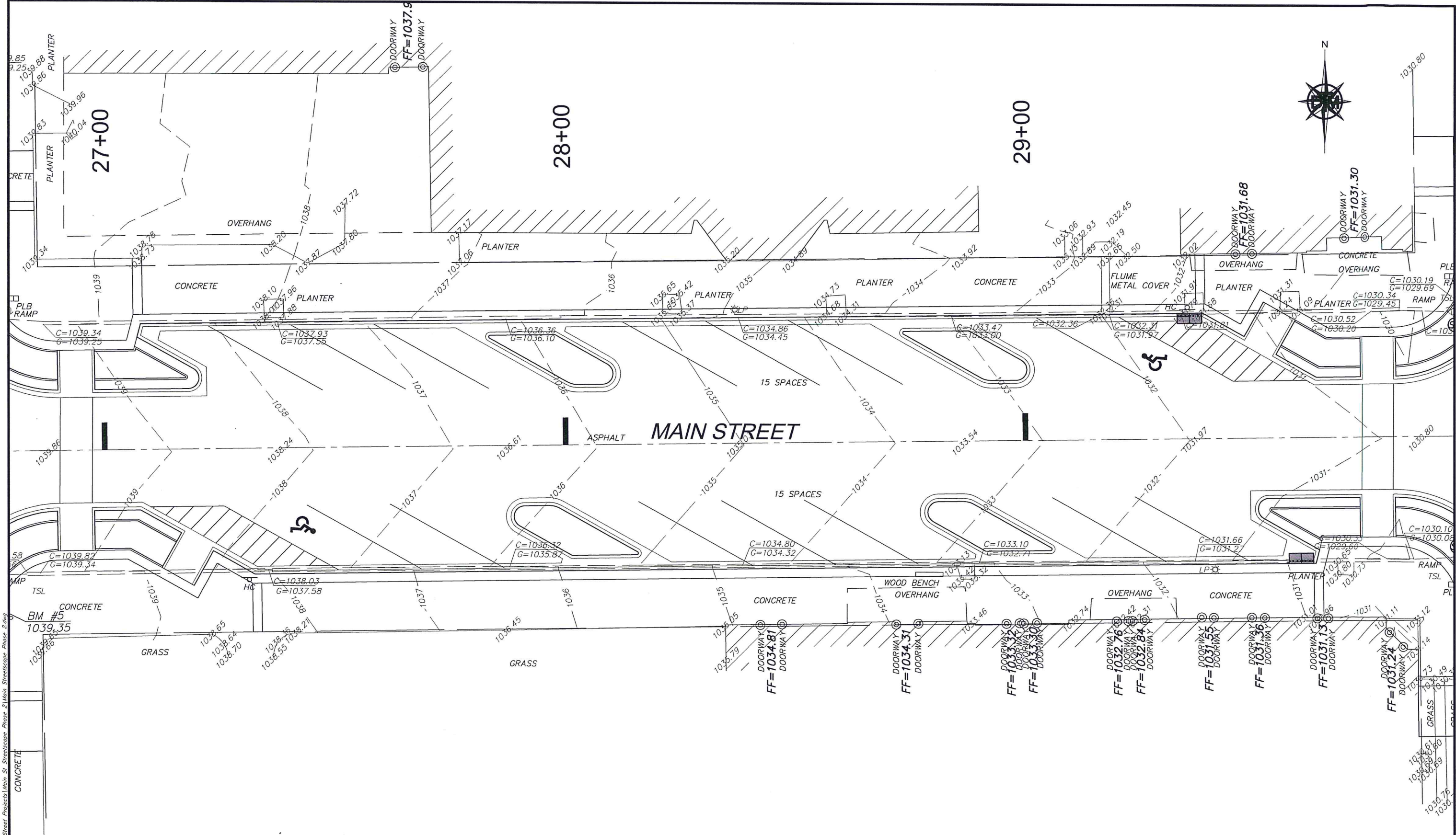


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DOWNTOWN STREETScape					
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CHECKED BY:	NA		SHAWNEE, OKLAHOMA		
REVISION:	DATE		AS-BUILT	DATE	
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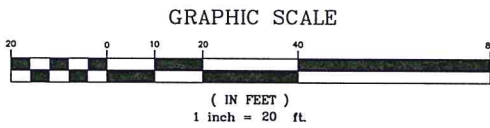
BM #5~C  
STA. 26+  
ELEV. = 10  
N=72740






M:\Engineering\Projects\Streetscape\Main St. Streetscape Phase 2\Main Streetscape Phase 2.dwg  
 02/20/14

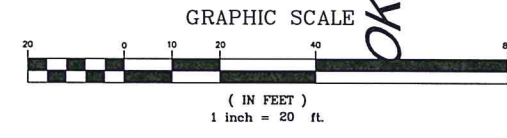
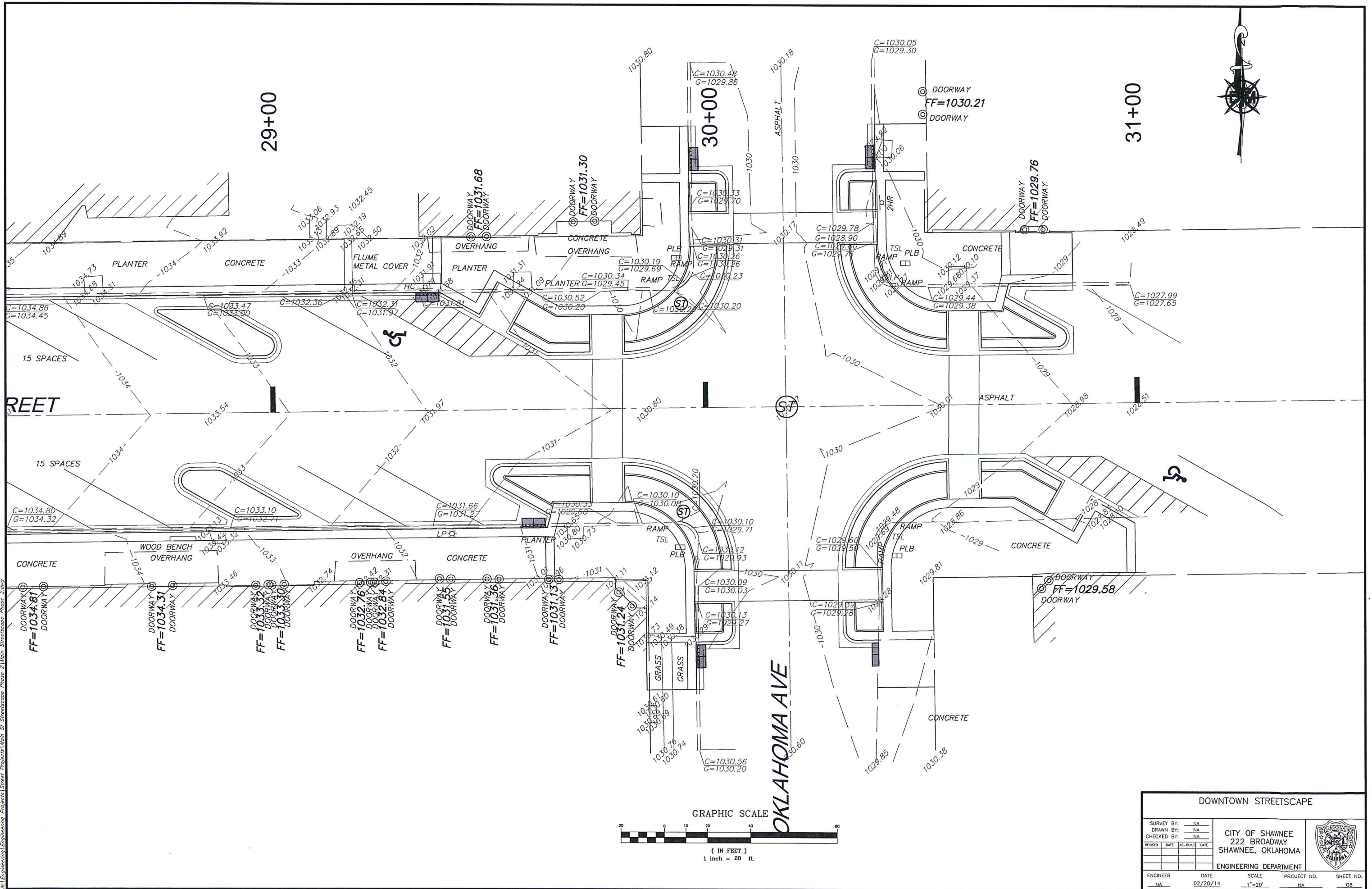
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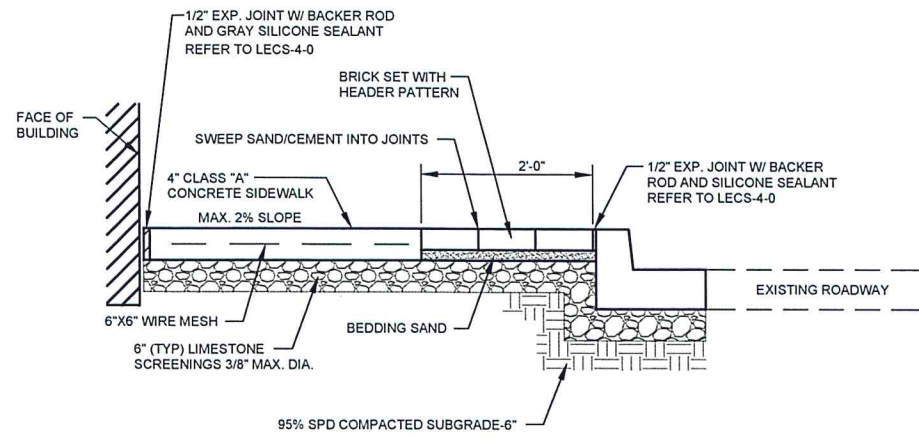
DOWNTOWN STREETSCAPE				
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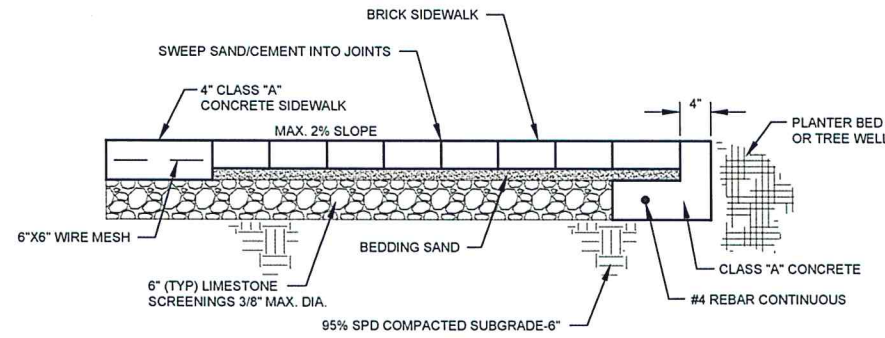
NA Engineering | Engineering Projects | Street Projects | Main St. Streetscape Phase 2 | Main Streetscape Phase 2.dwg



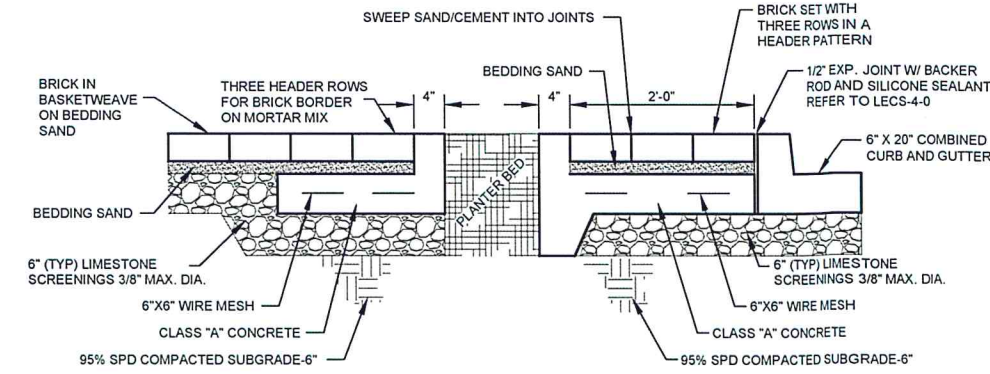
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ENGINEER		DATE	SCALE	PROJECT NO.
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CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA			ENGINEERING DEPARTMENT	
			PROJECT NO.	SHEET NO.
			NA	08



**SECTION-BRICK BORDER AND CURB**

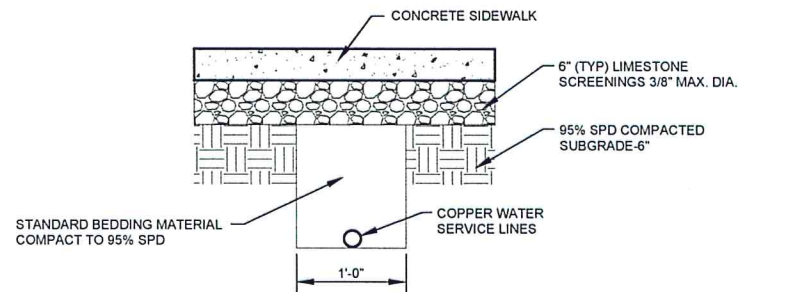


**SECTION-BRICK SIDEWALK**

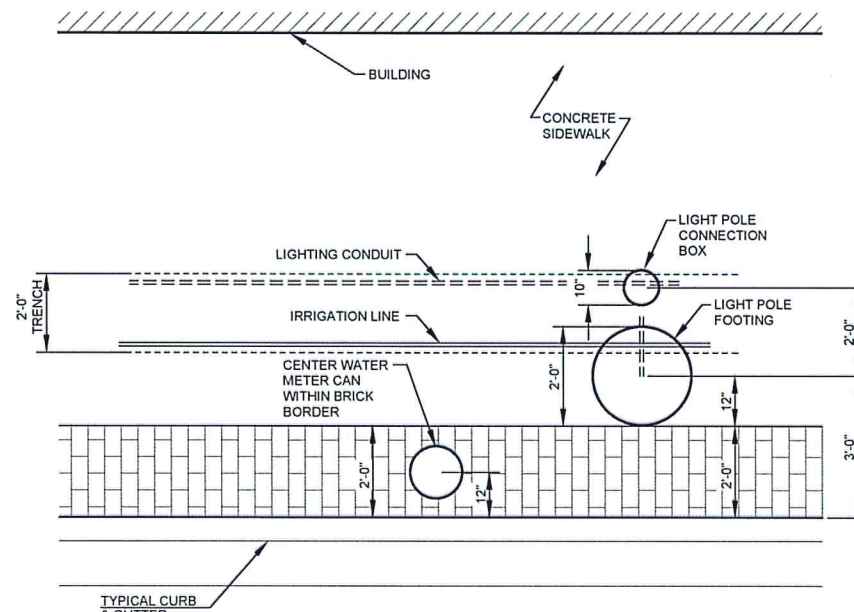
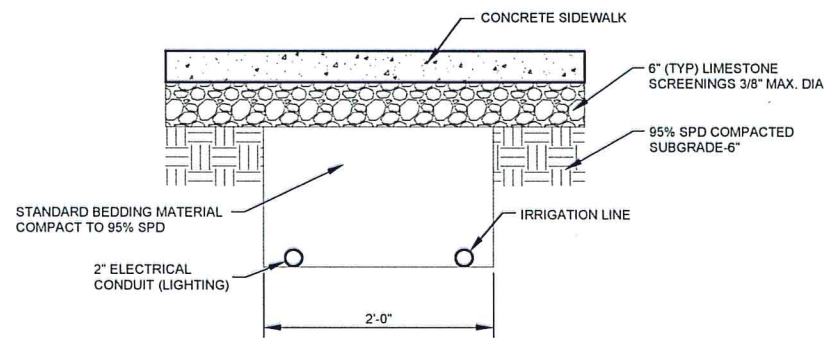


**SECTION-BRICK BORDER AT PLANTERS**

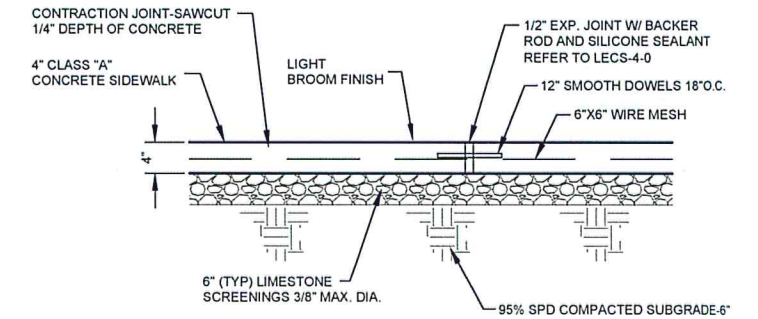
NOTES:  
 INSTALL 1/2" EXPANSION JOINTS WITH BACKER ROD AND SILICONE SEALANT WHERE NEW PAVING MEETS EXISTING BUILDING WALLS  
 INSTALL BACKER ROD AND SILICONE SEALANT WHERE NEW PAVING MEETS EXISTING PAVING (PRIMARILY OUTSIDE DOORWAYS).



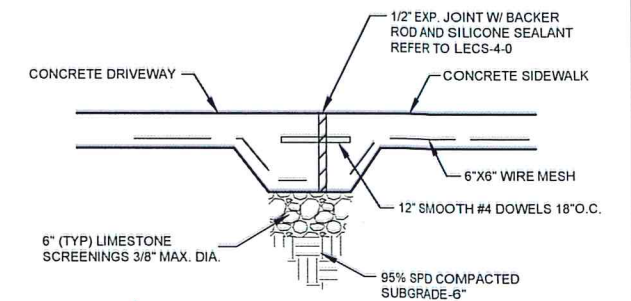
**SECTION-BURIED LINES**



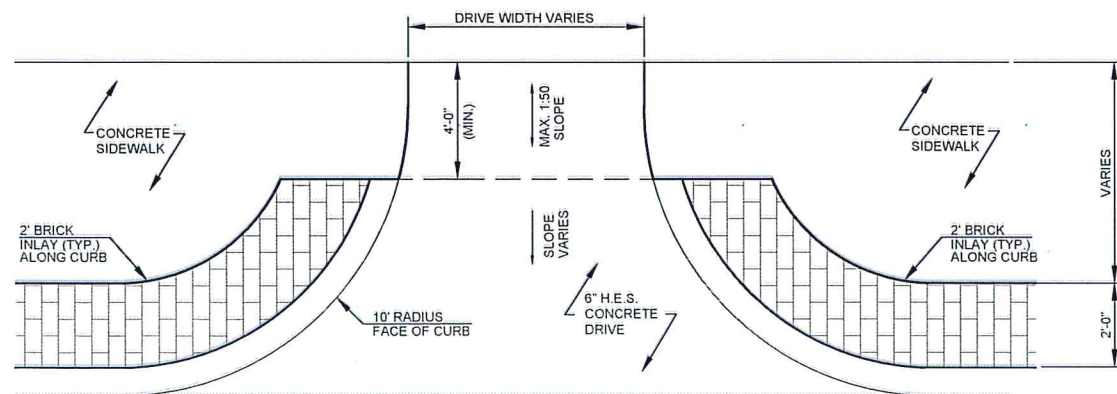
**PLAN-WATER METER & LIGHT POLE LOCATIONS**



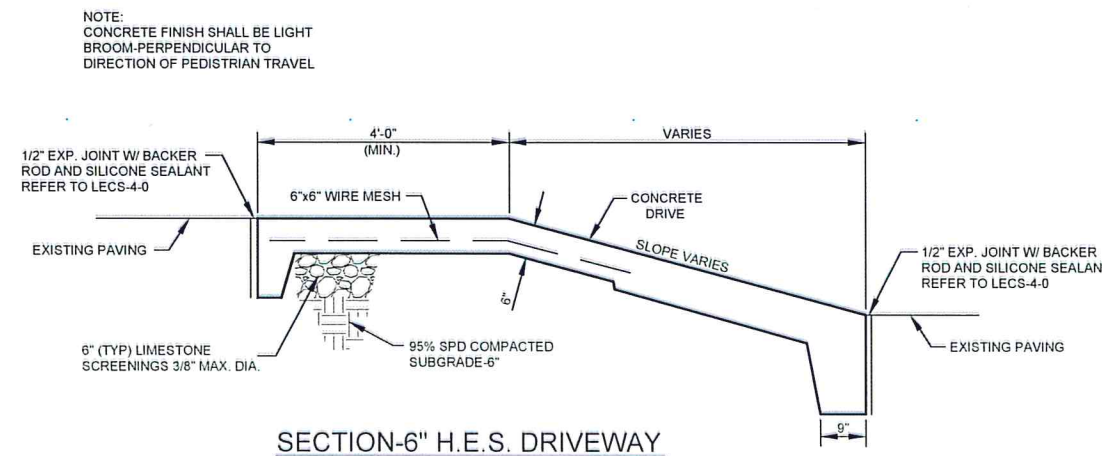
**SECTION-CONCRETE SIDEWALK**



**SECTION-DRIVE AND SIDEWALK**



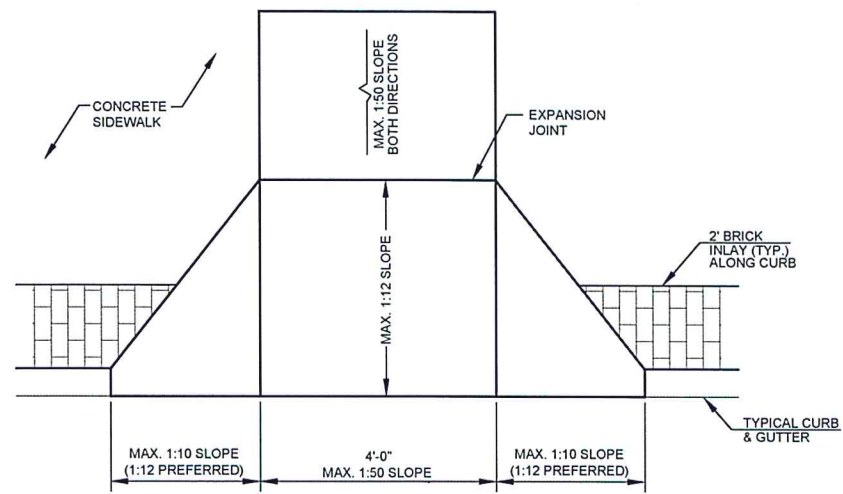
**PLAN-DRIVEWAY RAMP**



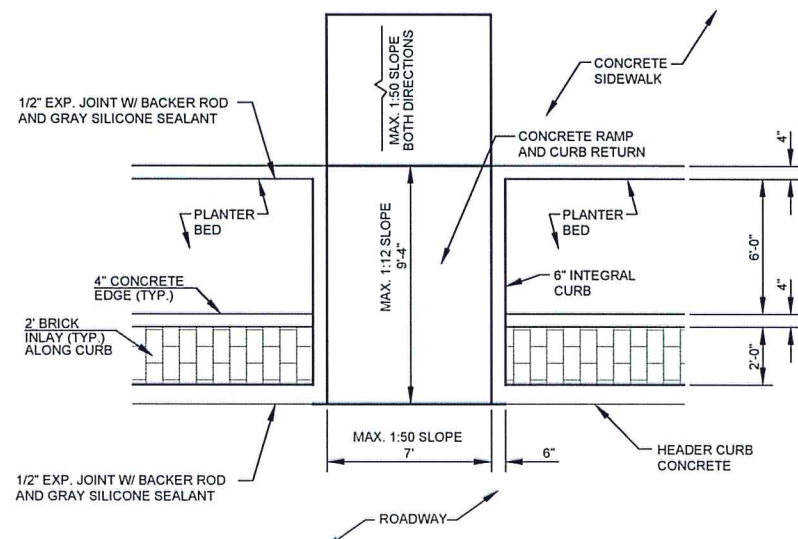
**SECTION-6" H.E.S. DRIVEWAY**

MAIN ST. STREETSCAPE DETAIL SHEET			
SURVEY BY:	ML	DATE	
DRAWN BY:	ML	DATE	
CHECKED BY:	ML	DATE	
REVISION	DATE	AS-BUILT	DATE
ENGINEER	DATE	SCALE	PROJECT NO.
JR	1/24/14	N.T.S.	CCS-PW-xx-xx
			SHEET NO.
			04

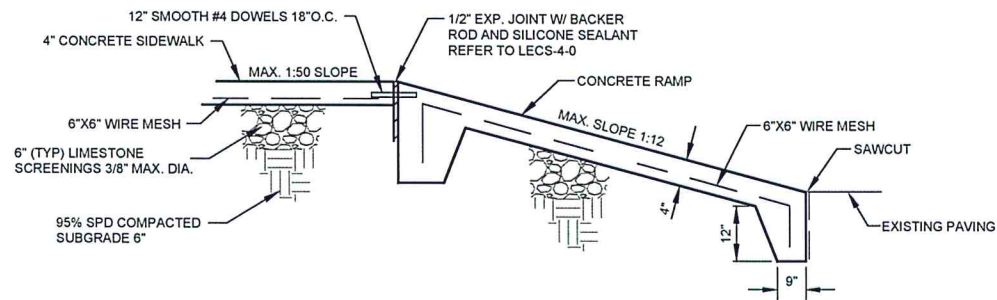
M.E. Engineering, Inc. Project: Main St. Streetscape Phase 2 (04 Detail) Streetscape.dwg



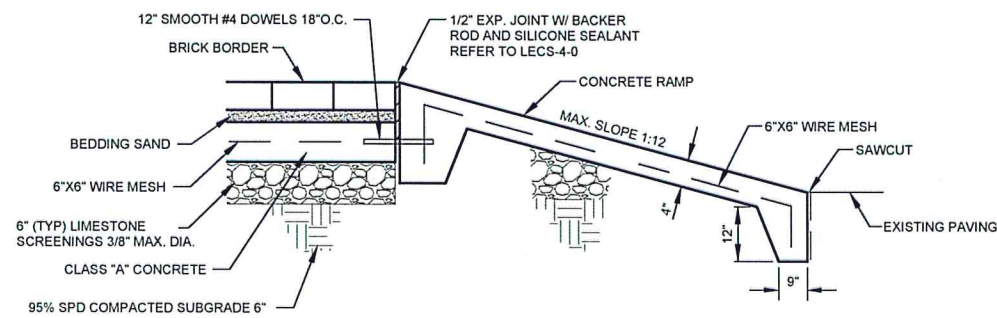
PLAN-CURB RAMP TYPE 1



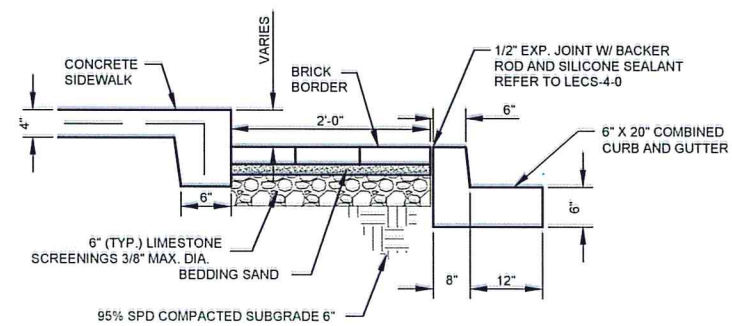
PLAN-CURB RAMP TYPE 2



SECTION-CURB RAMP TYPE 1



SECTION-CURB RAMP TYPE 2

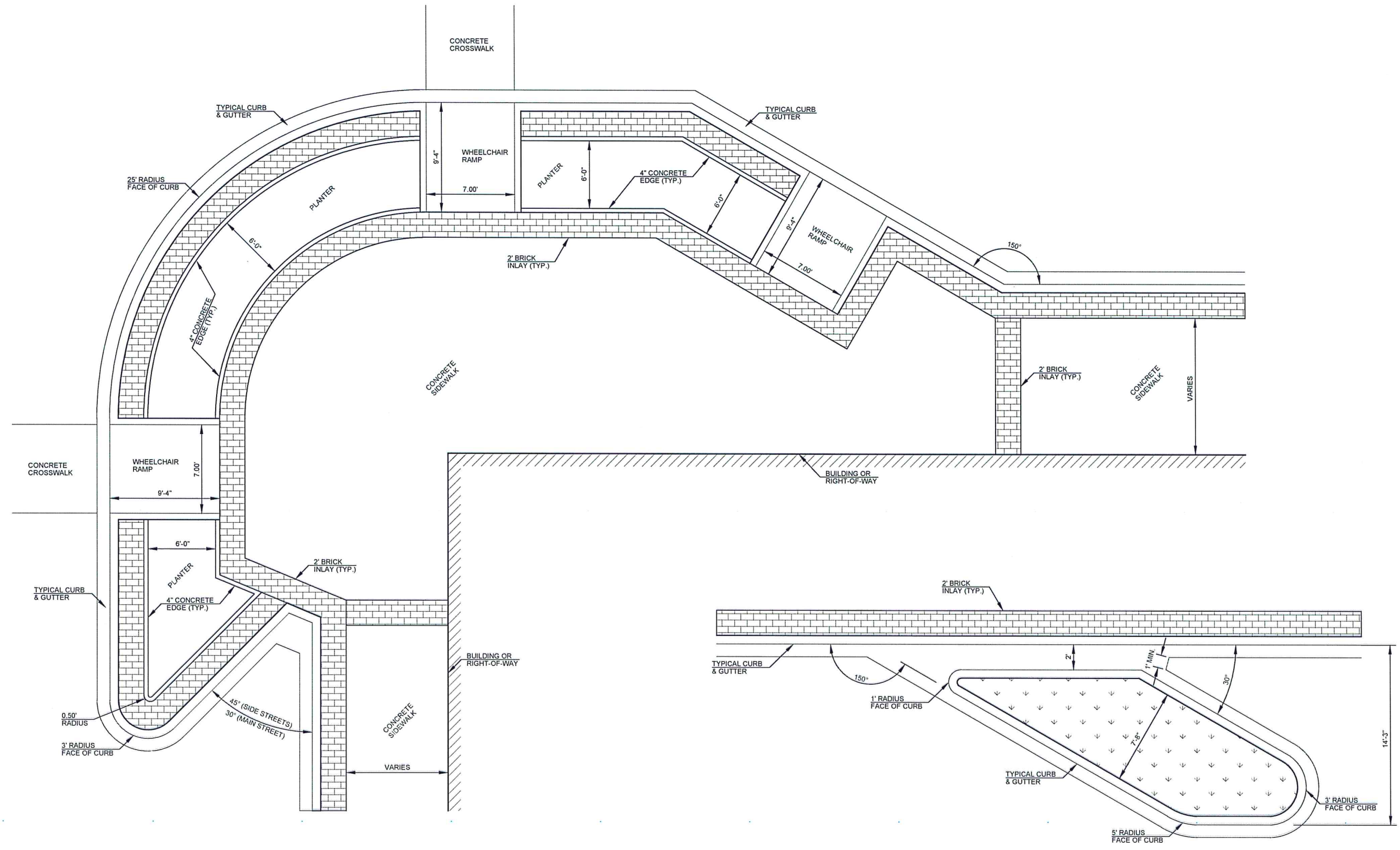


SECTION-SIDEWALK STEP AND CURB CONCRETE CURB

K:\Engineering\Engineering Projects\Street Projects\Main St Streetscape Phase 2\04 Detail Sheets.dwg

MAIN ST. STREETSCAPE DETAIL SHEET			
SURVEY BY: <u>ML</u>	CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA	ENGINEERING DEPARTMENT	SHEET NO. 05
DRAWN BY: <u>ML</u>			
CHECKED BY: <u>ML</u>			
REVISION	DATE	DATE	
ENGINEER	DATE	SCALE	PROJECT NO.
<u>JK</u>	1/24/14	N.T.S.	COS-PW-xx-xx

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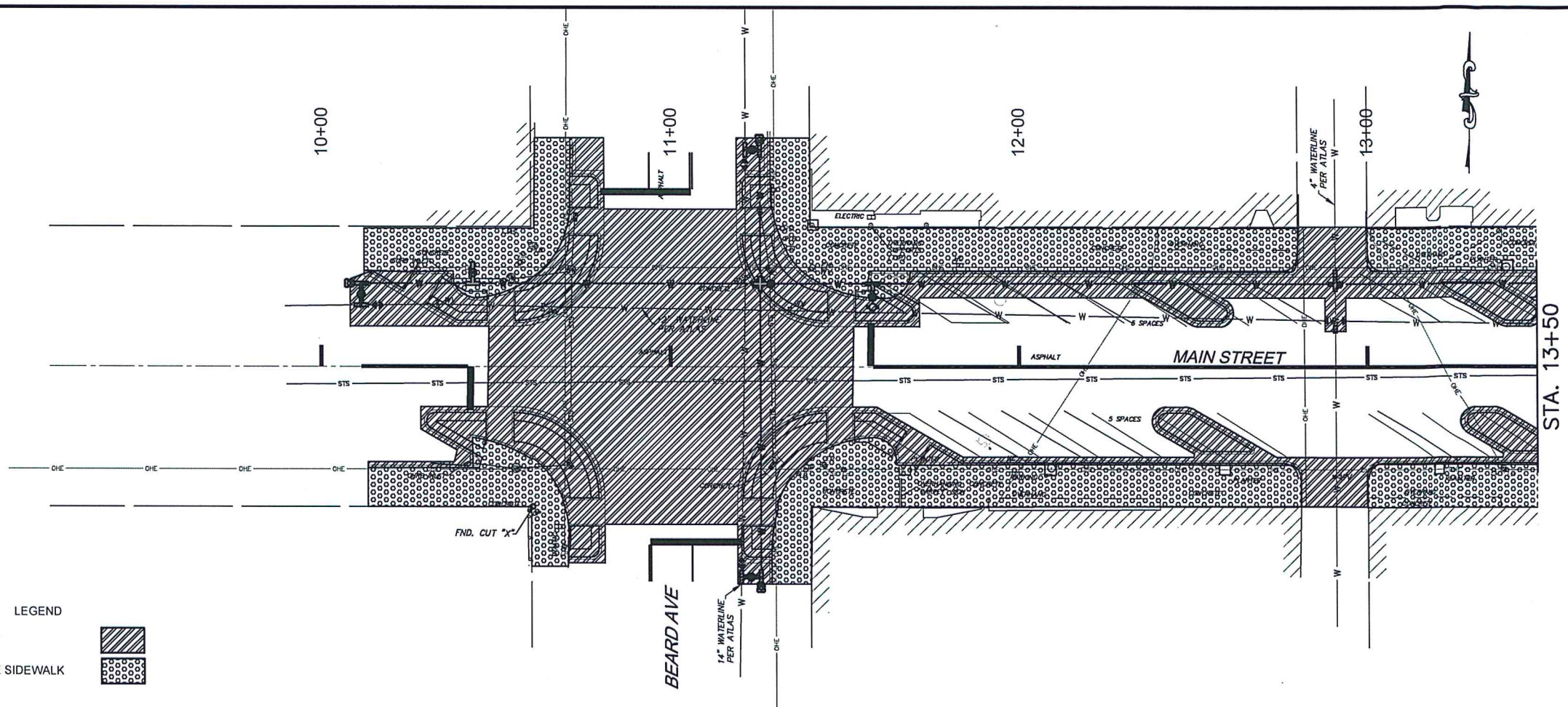


PLAN - TYPICAL PATTERN AT BUMPOUTS

PLAN - TYPICAL PLANTER ISLAND

SURVEY BY: ML				PROJECT NO.			
DRAWN BY: ML				CITY OF SHAWNEE			
CHECKED BY: ML				222 BROADWAY			
REVISED DATE AS-BUILT DATE				SHAWNEE, OKLAHOMA			
				ENGINEERING DEPARTMENT			
ENGINEER	DATE	SCALE	PROJECT NO.	SHEET NO.			
JK	1/24/14	N.T.S.	COS-PW-xx-xx	06			

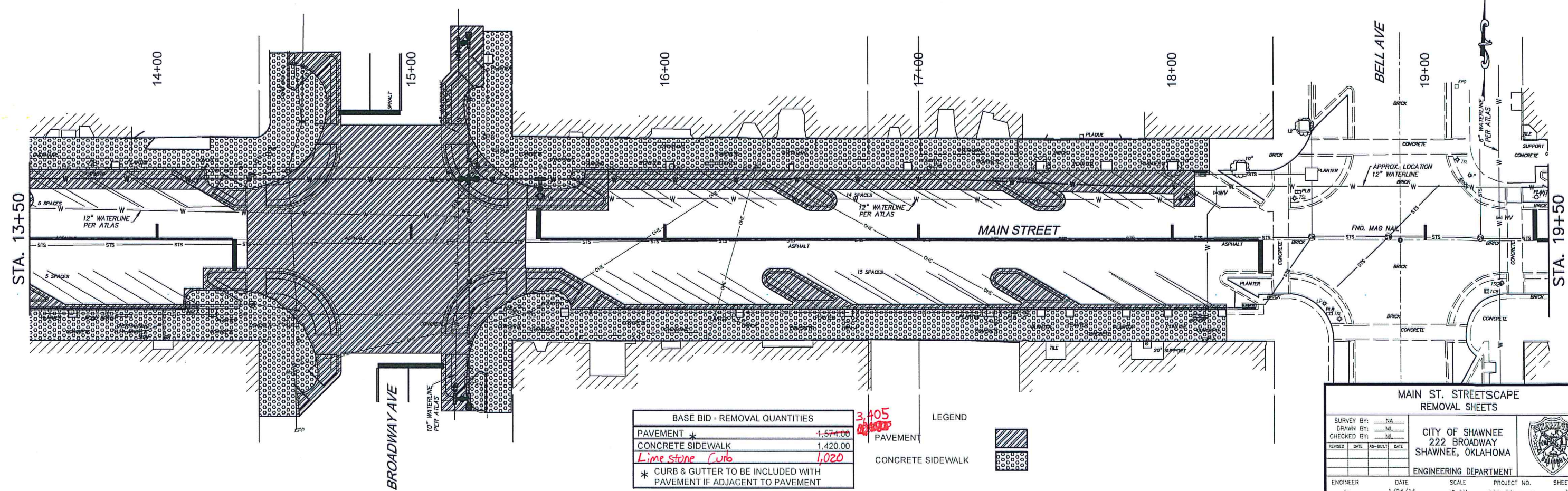




BASE BID - REMOVAL QUANTITIES	
PAVEMENT *	1,416.00
CONCRETE SIDEWALK	844.00
<i>Lime Stone Curb</i>	<i>677</i>

\* CURB & GUTTER TO BE INCLUDED WITH PAVEMENT IF ADJACENT TO PAVEMENT

LEGEND	
PAVEMENT	
CONCRETE SIDEWALK	



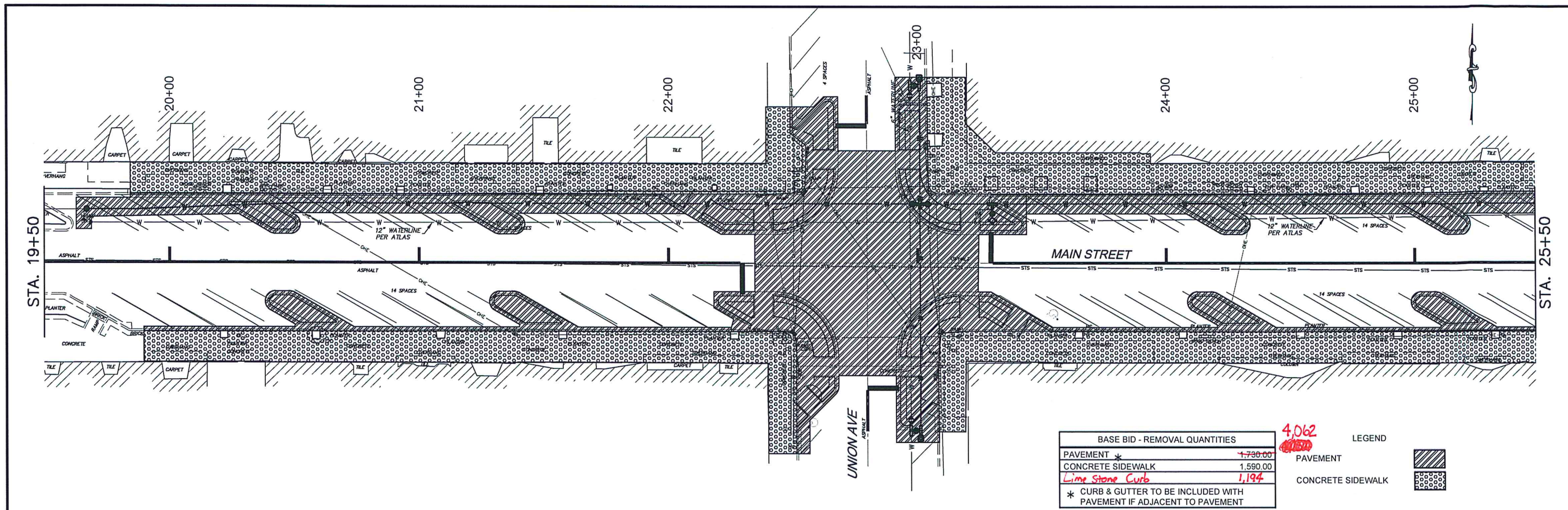
BASE BID - REMOVAL QUANTITIES	
PAVEMENT *	1,574.00
CONCRETE SIDEWALK	1,420.00
<i>Lime Stone Curb</i>	<i>1,020</i>

\* CURB & GUTTER TO BE INCLUDED WITH PAVEMENT IF ADJACENT TO PAVEMENT

LEGEND	
PAVEMENT	
CONCRETE SIDEWALK	

MAIN ST. STREETSCAPE REMOVAL SHEETS			
SURVEY BY:	NA	PROJECT NO.	222 BROADWAY
DRAWN BY:	ML	CITY OF SHAWNEE	SHAWNEE, OKLAHOMA
CHECKED BY:	ML	ENGINEERING DEPARTMENT	
REVISION	DATE	AS-BUILT	DATE
ENGINEER	DATE	SCALE	PROJECT NO.
JK	1/24/14	1"=20'	COS-PW-xx-xx
			SHEET NO.
			07

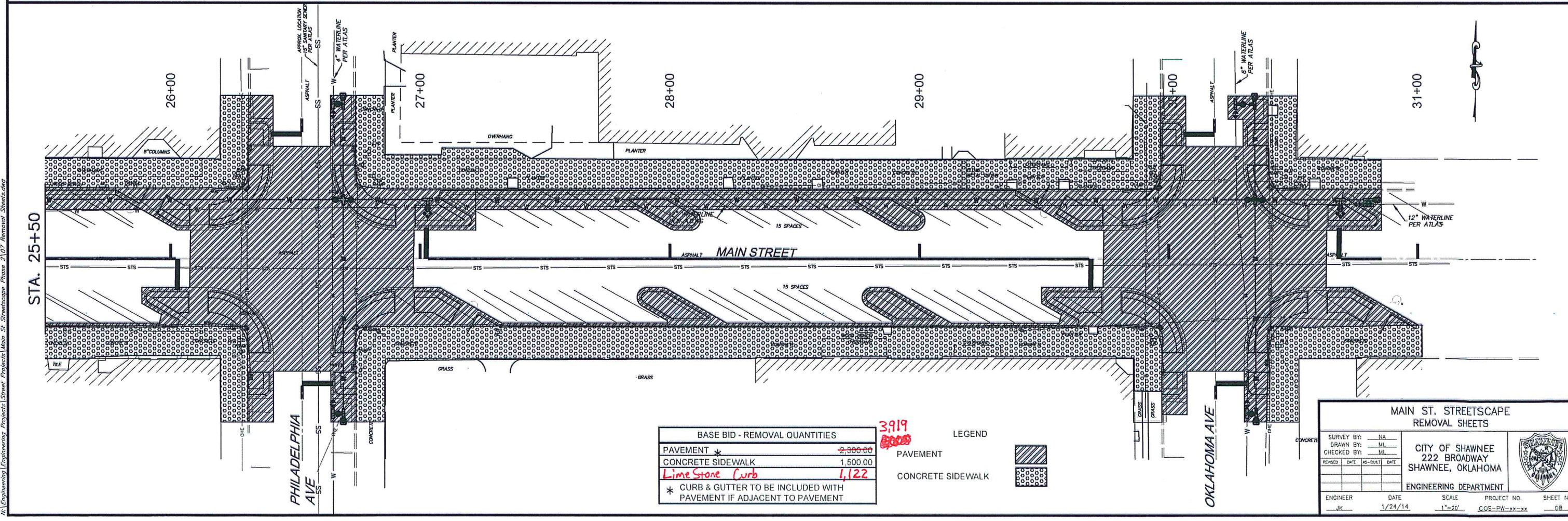
X:\Engineering\Engineering Projects\Street Projects\Main St Streetscape Phase 2\07 Removal Sheets.dwg



BASE BID - REMOVAL QUANTITIES	
PAVEMENT *	1,730.00
CONCRETE SIDEWALK	1,590.00
<i>Lime Stone Curb</i>	<i>1,194</i>
* CURB & GUTTER TO BE INCLUDED WITH PAVEMENT IF ADJACENT TO PAVEMENT	

4,062  
~~4,514~~

LEGEND	
PAVEMENT	
CONCRETE SIDEWALK	



BASE BID - REMOVAL QUANTITIES	
PAVEMENT *	2,300.00
CONCRETE SIDEWALK	1,500.00
<i>Lime Stone Curb</i>	<i>1,122</i>
* CURB & GUTTER TO BE INCLUDED WITH PAVEMENT IF ADJACENT TO PAVEMENT	

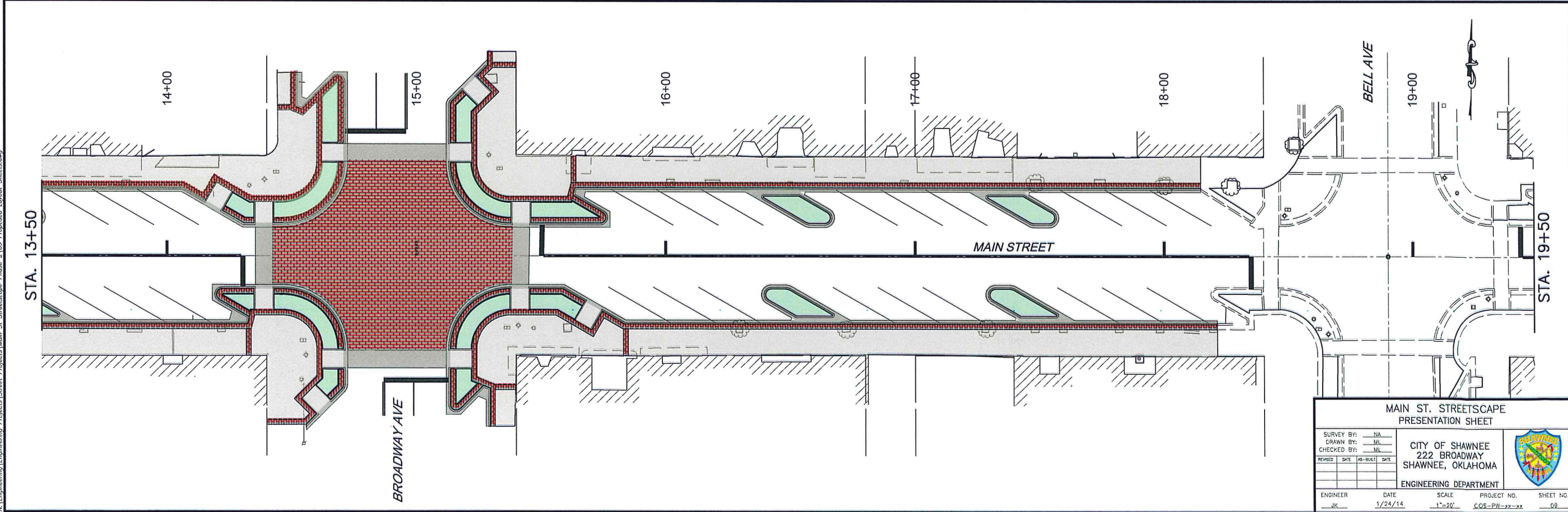
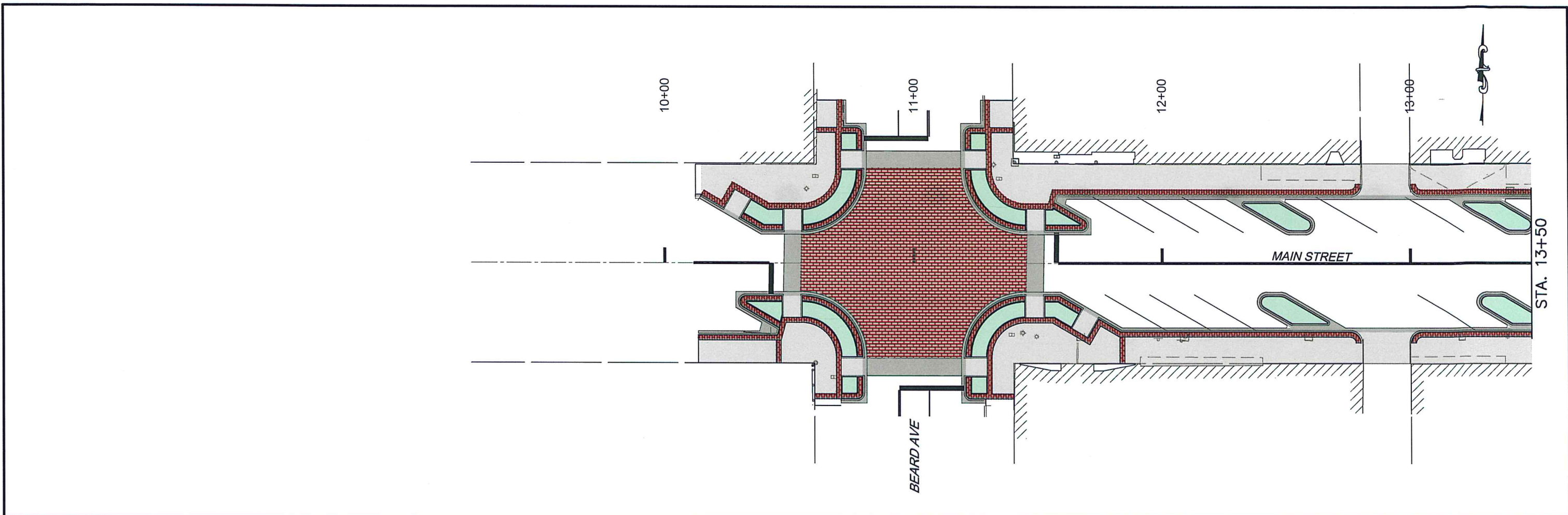
3,919  
~~4,922~~

LEGEND	
PAVEMENT	
CONCRETE SIDEWALK	

MAIN ST. STREETSCAPE REMOVAL SHEETS			
SURVEY BY: <u>ML</u>	DATE: <u>1/24/14</u>	SCALE: <u>1"=20'</u>	PROJECT NO. <u>C/GS-PW-xx-xx</u>
CHECKED BY: <u>ML</u>	DATE: <u>1/24/14</u>	SCALE: <u>1"=20'</u>	PROJECT NO. <u>C/GS-PW-xx-xx</u>
ENGINEER: <u>JK</u>	DATE: <u>1/24/14</u>	SCALE: <u>1"=20'</u>	PROJECT NO. <u>C/GS-PW-xx-xx</u>
CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA			
ENGINEERING DEPARTMENT			
SHEET NO. <u>08</u>			

A:\Engineering\Engineering Projects\Street Projects\Main St Streetscape Phase 2\07 Removal Sheets.dwg

Al\Engineering\Engineering Projects\Street Projects\Main St Streetscape Phase 2\02 Proposed Layout Streets.dwg



**MAIN ST. STREETSCAPE  
PRESENTATION SHEET**

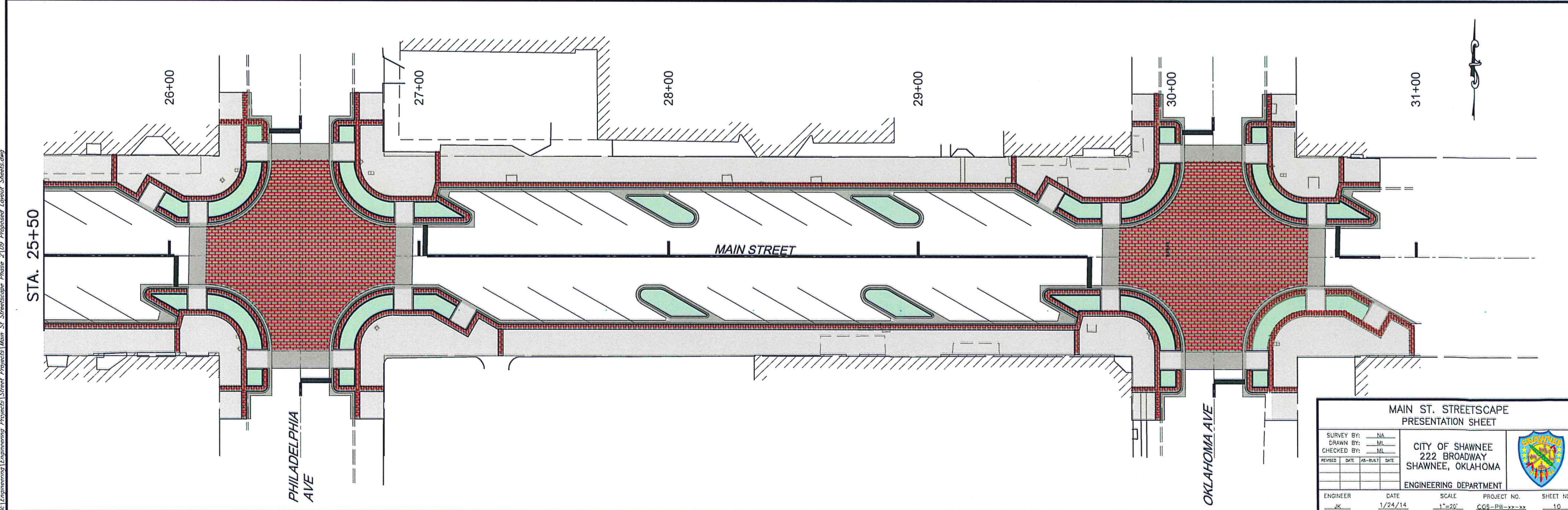
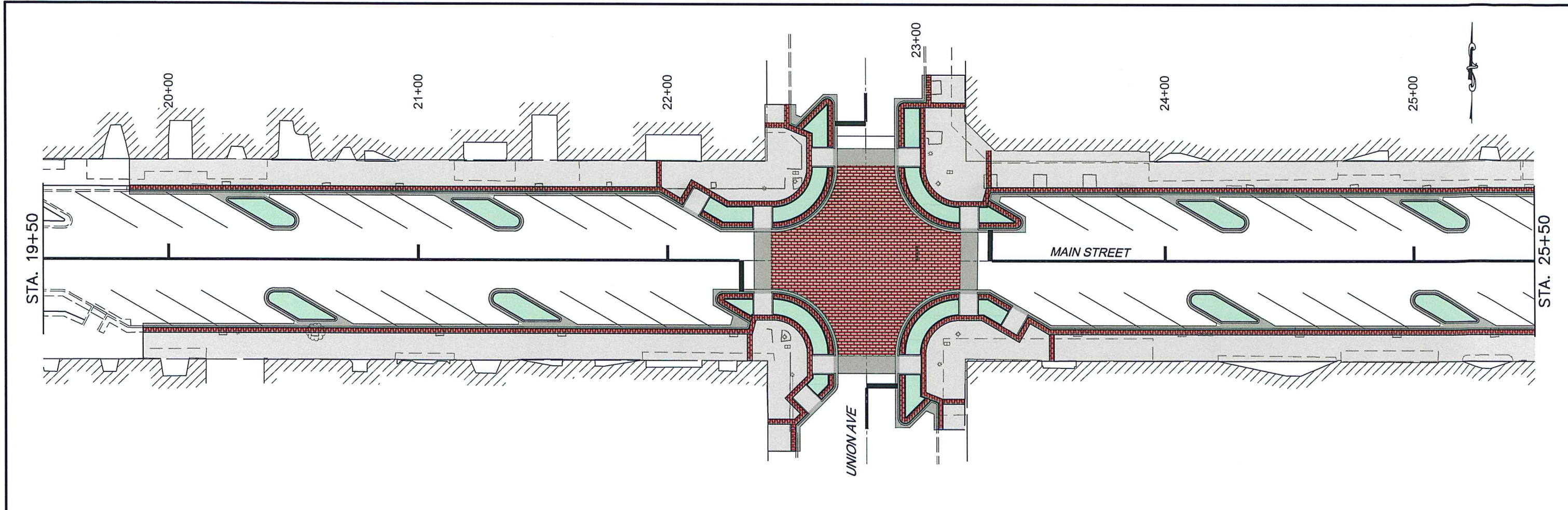
SURVEY BY: NA	DRAWN BY: ML	CHECKED BY: ML	
REVISION	DATE	AS-BUILT	DATE
ENGINEER	DATE	SCALE	PROJECT NO.
JR	1/24/14	1"=20'	COS-PW-xx-xx

**CITY OF SHAWNEE**  
222 BROADWAY  
SHAWNEE, OKLAHOMA

ENGINEERING DEPARTMENT

SHEET NO. 09

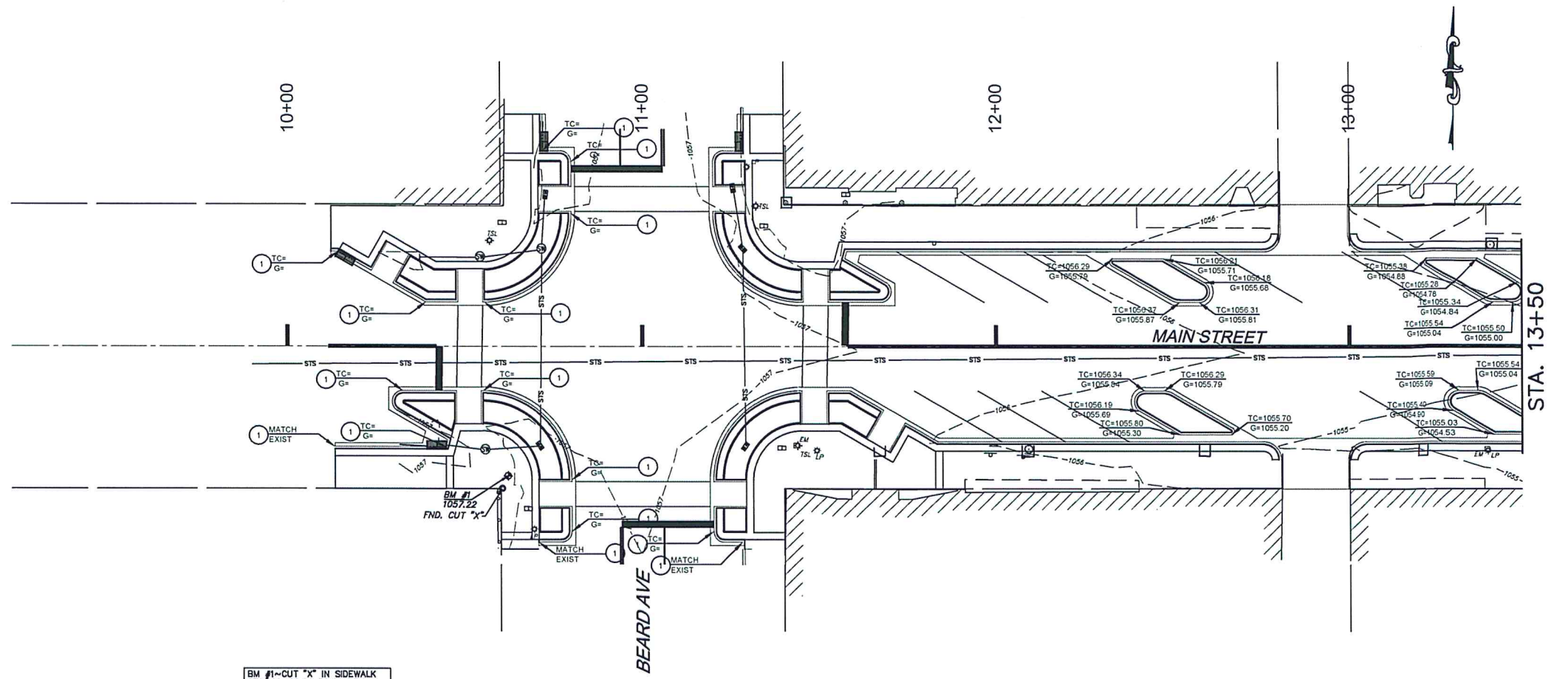
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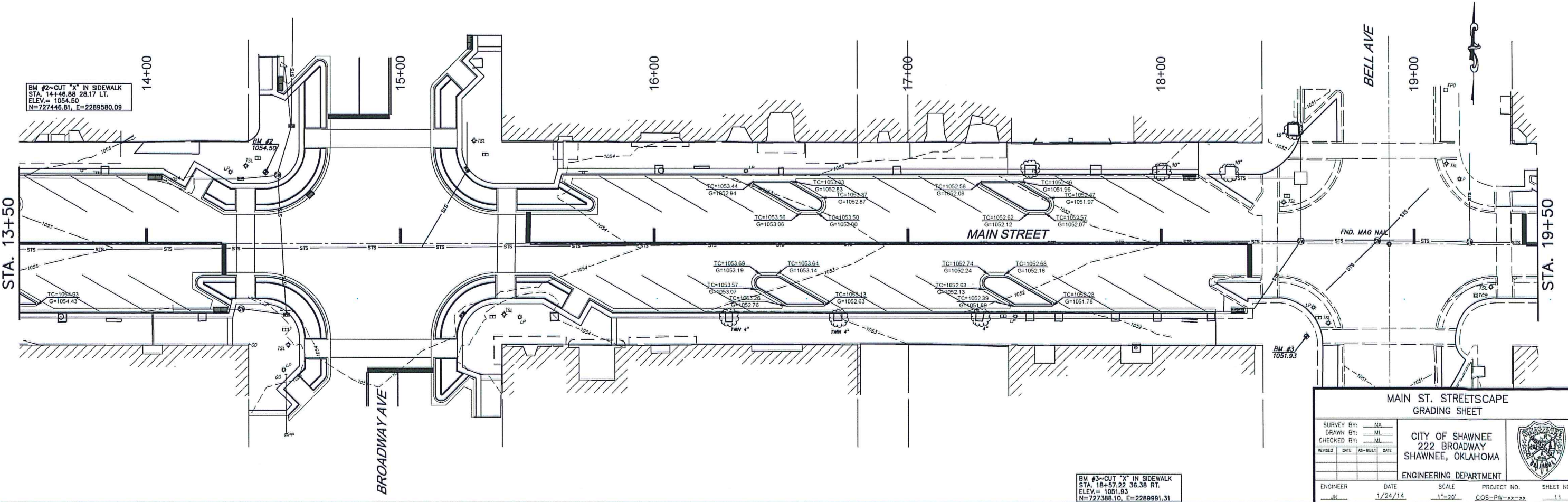
<b>MAIN ST. STREETScape PRESENTATION SHEET</b>			
SURVEY BY:	ML	DATE:	
DRAWN BY:	ML	SCALE:	
CHECKED BY:	ML	PROJECT NO.:	
REVISED:	DATE:	AS-BUILT:	DATE:
ENGINEER:	JR	DATE:	1/24/14
SCALE		PROJECT NO.	SHEET NO.
1"=20'		CGS-PW-xx-xx	10







BM #1-CUT "X" IN SIDEWALK  
 STA. 10+62.04 36.44 RT.  
 ELEV.= 1057.22  
 N=727376.74, E=2289198.21



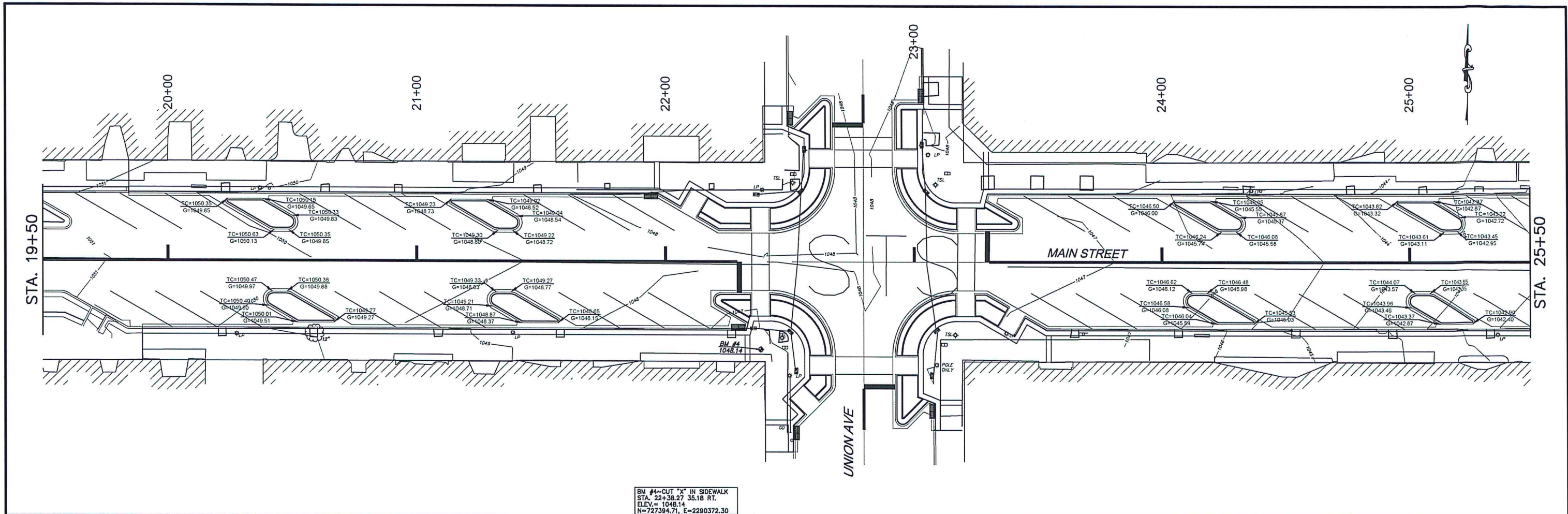
BM #2-CUT "X" IN SIDEWALK  
 STA. 14+46.88 28.17 LT.  
 ELEV.= 1054.50  
 N=727446.81, E=2289580.09

BM #3-CUT "X" IN SIDEWALK  
 STA. 18+57.22 36.38 RT.  
 ELEV.= 1051.93  
 N=727388.10, E=2289991.31

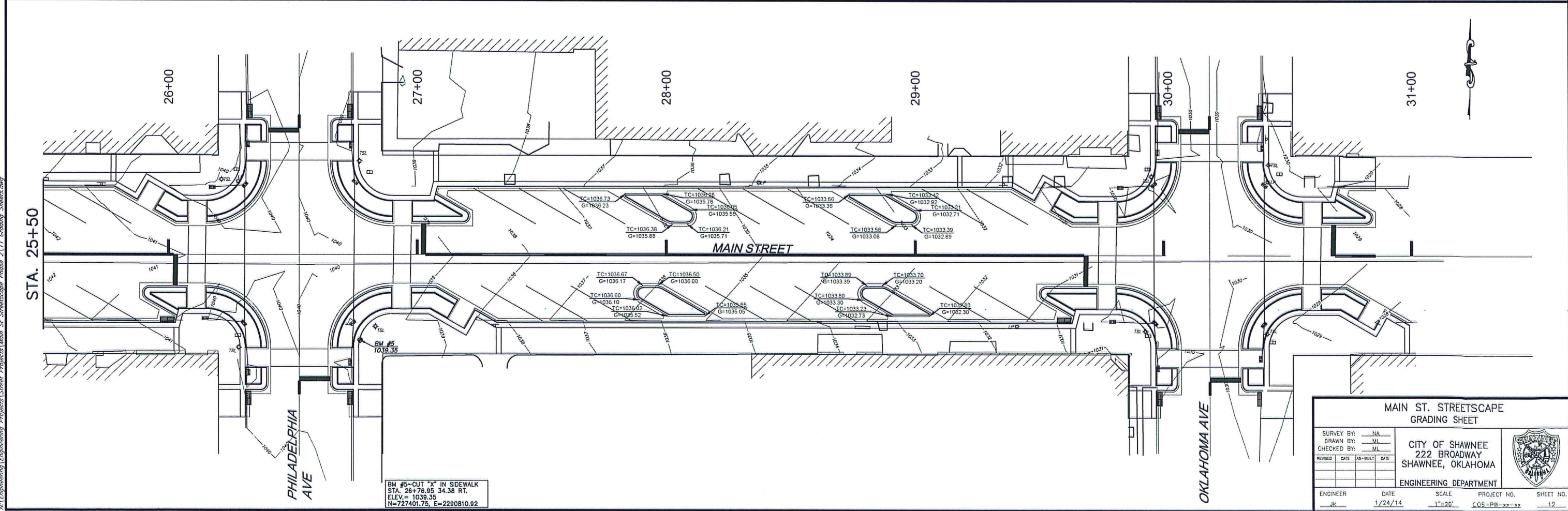
MAIN ST. STREETSCAPE GRADING SHEET			
SURVEY BY: NA	DATE: 1/24/14	SCALE: 1"=20'	PROJECT NO. CGS-PW-xx-xx
DRAWN BY: ML	DATE:	SCALE:	SHEET NO. 11
CHECKED BY: ML	DATE:	SCALE:	
REVISED	DATE	AS-BUILT	DATE
ENGINEER		ENGINEERING DEPARTMENT	
CITY OF SHAWNEE 222 BROADWAY SHAWNEE, OKLAHOMA			

All Engineering/Engineering Projects/Street Projects/Main St. Streetscape Phase 2/11 Grading Streetscape


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BM #4-CUT "X" IN SIDEWALK  
 STA. 22+38.27 35.18 RT.  
 ELEV.= 1048.14  
 N=727394.71, E=2290372.30



BM #5-CUT "X" IN SIDEWALK  
 STA. 26+76.95 34.38 RT.  
 ELEV.= 1039.35  
 N=727401.75, E=2290810.92

MAIN ST. STREETSCAPE GRADING SHEET			
SURVEY BY: HA	CITY OF SHAWNEE		PROJECT NO. _____ SHEET NO. 12
CRAWN BY: ML	222 BROADWAY		
CHECKED BY: ML	SHAWNEE, OKLAHOMA	ENGINEERING DEPARTMENT	
REVISION   DATE   AS-BUILT   DATE	ENGINEER: _____ DATE: 1/24/14 SCALE: 1"=20'		

- STA. 10+12 LT. 24'
- 1- 12"x12" TAPPING SLEEVE
  - 1- 12" TAPPING VALVE & BOX
  - 1- 12" GATE VALVE & BOX
  - 1- 12"x12" TEE
  - 1- 12" CAP
  - 2- 12" PLUG
  - 8- 12" MEGALUG

- STA. 11+25 LT. 62'
- 1- 14"x14" TAPPING SLEEVE
  - 1- 14" TAPPING VALVE & BOX
  - 1- 14" GATE VALVE & BOX
  - 1- 14"x14" TEE
  - 1- 14" CAP
  - 2- 14" PLUG
  - 8- 14" MEGALUG

- STA. 11+25 LT. 24'
- 1- 14"x12" CROSS
  - 1- 12" GATE VALVE & BOX
  - 2- 14" MEGALUG
  - 4- 12" MEGALUG

- STA. 11+58 LT. 24'
- 1- 12"x6" TEE
  - 1- 6" GATE VALVE & BOX
  - 1- FIRE HYDRANT ASSEMBLY
  - 2- 12" MEGALUG
  - 4- 6" MEGALUG

- STA. 10+40 LT. 24'
- 1- 6" GATE VALVE & BOX
  - 1- 12"x6" TEE
  - 1- 6" SOLID SLEEVE
  - 2- 12" MEGALUG
  - 3- 6" MEGALUG

BM #1-CUT "X" IN SIDEWALK  
STA. 10+52.04 35.44 RT.  
ELEV.= 1057.22  
N=727376.74, E=2289196.21

- STA. 11+25 RT. 60'
- 1- 14"x14" TAPPING SLEEVE
  - 1- 14" TAPPING VALVE & BOX
  - 1- 14" GATE VALVE & BOX
  - 1- 14"x14" TEE
  - 1- 14" CAP
  - 2- 14" PLUG
  - 8- 14" MEGALUG

- STA. 12+90 LT. 24'
- 1- 12"x4" CROSS
  - 2- 4" SOLID SLEEVE
  - 2- 12" PLUG
  - 10 L.F. OF 4" PVC WATERLINE
  - 4- 12" MEGALUG
  - 6- 4" MEGALUG

- STA. 15+23 LT. 77'
- 1- 6"x6" TAPPING SLEEVE
  - 1- 6" TAPPING VALVE & BOX
  - 1- 6" GATE VALVE & BOX
  - 1- 6"x6" TEE
  - 1- 6" CAP
  - 2- 6" PLUG
  - 8- 6" MEGALUG

- STA. 15+23 LT. 24'
- 1- 12"x6" CROSS
  - 2- 12" GATE VALVE & BOX
  - 6- 12" MEGALUG
  - 2- 6" MEGALUG

- STA. 15+51 LT. 24'
- 1- 12"x6" TEE
  - 1- 6" GATE VALVE & BOX
  - 1- FIRE HYDRANT ASSEMBLY
  - 2- 12" MEGALUG
  - 4- 6" MEGALUG

- STA. 18+00 LT. 21'
- 1- REMOVE 12" PLUG
  - 2- 12" PLUG
  - 3- 12" MEGALUG

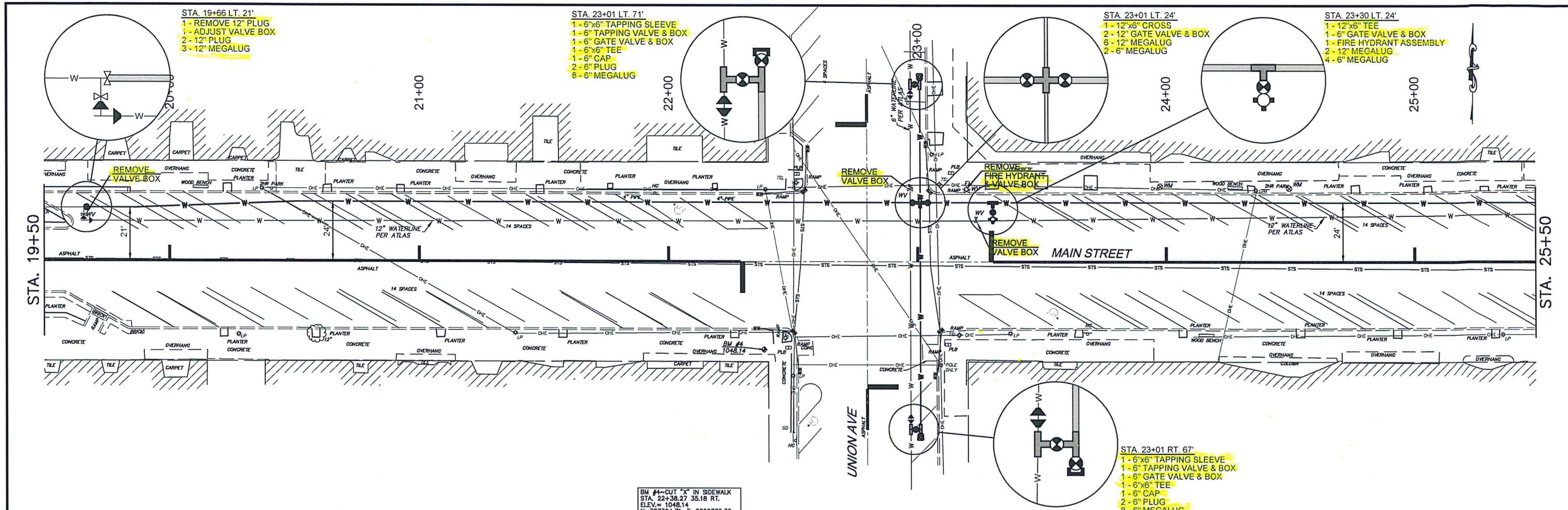
BM #2-CUT "X" IN SIDEWALK  
STA. 14+46.68 28.17 LT.  
ELEV.= 1054.50  
N=727446.81, E=2289580.09

- STA. 15+23 RT. 63'
- 1- 10"x10" TAPPING SLEEVE
  - 1- 10" TAPPING VALVE & BOX
  - 1- 10" GATE VALVE & BOX
  - 1- 10"x10" TEE
  - 1- 10" CAP
  - 2- 10" PLUG
  - 4- 8"-10" MEGALUG

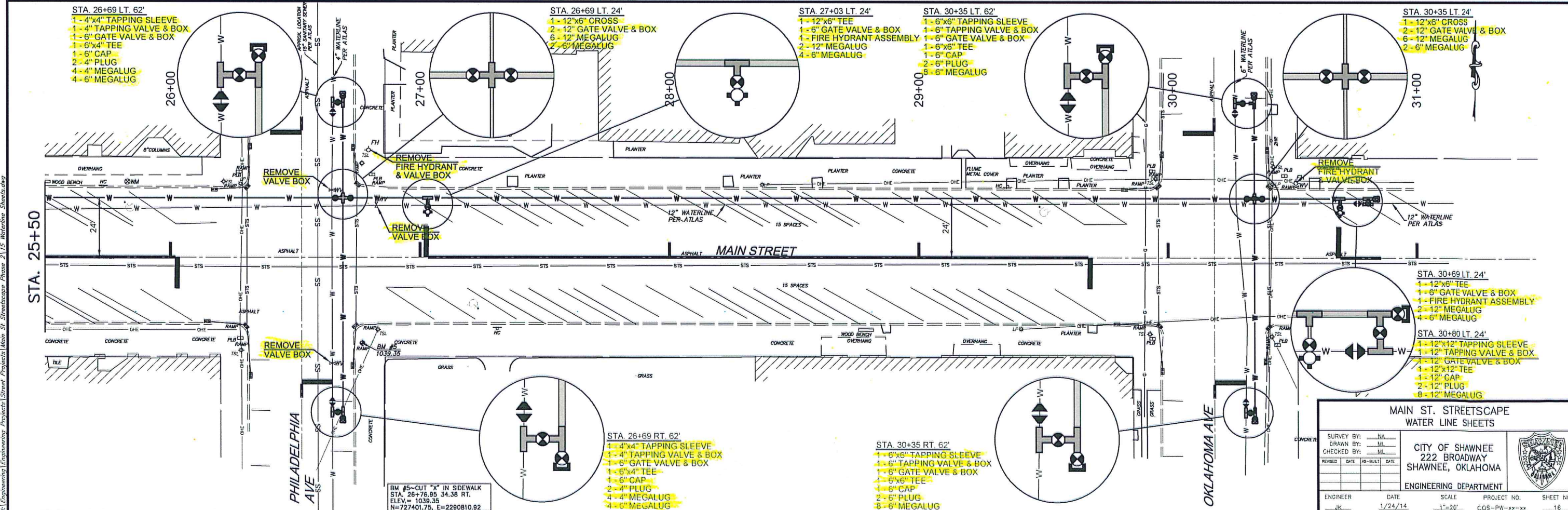
BM #3-CUT "X" IN SIDEWALK  
STA. 18+57.22 36.38 RT.  
ELEV.= 1051.93  
N=727388.10, E=2289991.31

MAIN ST. STREETSCAPE  
WATER LINE SHEETS

SURVEY BY:	ML	DATE:	
DRAWN BY:	ML	DATE:	
CHECKED BY:	ML	DATE:	
REVISION:		DATE:	
<b>CITY OF SHAWNEE</b> 222 BROADWAY SHAWNEE, OKLAHOMA			
<b>ENGINEERING DEPARTMENT</b>			
ENGINEER:	DATE:	SCALE:	PROJECT NO.:
JR	1/24/14	1"=20'	COS-PW-xx-xx
			SHEET NO.:
			15



BM #4-CUT "X" IN SIDEWALK  
 STA. 22+38.27 35.18 RT.  
 ELEV. = 1048.14  
 N=727384.71, E=2280372.30



BM #5-CUT "X" IN SIDEWALK  
 STA. 26+76.95 34.38 RT.  
 ELEV. = 1039.35  
 N=727401.75, E=2280810.92

**MAIN ST. STREETScape  
 WATER LINE SHEETS**

SURVEY BY: JKL	SCALE: 1"=20'	PROJECT NO. COS-PW-xx-xx	SHEET NO. 16
DRAWN BY: JKL	DATE: 1/24/14		
CHECKED BY: JKL			
REVISION	DATE	BY	DATE

CITY OF SHAWNEE  
 222 BROADWAY  
 SHAWNEE, OKLAHOMA

ENGINEERING DEPARTMENT

M:\Engineering\Engineering Projects\Street Projects\Main St Streetscape Phase 2\1.5 Waterline Sheets.dwg

DESCRIPTION	REVISIONS	DATE

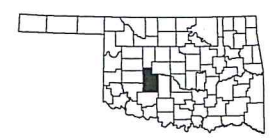
**DESIGN DATA**

ADT- (2011) = 15,200  
 ADT- (2031) = \_\_\_\_\_  
 DHV(1-WAY) = \_\_\_\_\_  
 D = 55%  
 T(%DHV) = \_\_\_\_\_%  
 T(%ADT) = \_\_\_\_\_%  
 T<sub>3</sub>(%ADT) = \_\_\_\_\_%  
 V = 35 MPH  
 30 Yr. Flex. ESAL's = \_\_\_\_\_ Mil.

SURVEY CONTROL DATA  
 SEE SURVEY DATA SHEETS



**SCALE**  
 PLAN 1" = 50'  
 PROFILE HOR. 1" = 50'  
 VER. 1" = 5'  
 LAYOUT MAP 1" = 4000'



LOCATION MAP

**CONVENTIONAL SIGNS**

- INTERSTATE HIGHWAY
- U.S. HIGHWAY
- STATE HIGHWAY
- PROPOSED ROAD
- RAILROADS
- RANGE & TOWNSHIP LINES
- SECTION LINES
- QUARTER SECTION LINES
- FENCES
- GROUND LINE
- EXISTING ROADS
- BASE LINE
- GRADE LINES
- TELEPHONE & TELEGRAPH
- POWER LINES
- OIL WELLS
- BUILDINGS
- DRAINAGE STRUCTURES-IN-PLACE
- DRAINAGE STRUCTURES-NEW
- RIGHT-OF-WAY LINES-EXISTING
- RIGHT-OF-WAY LINES-NEW
- RIGHT-OF-WAY MARKERS-IN PLACE
- RIGHT-OF-WAY MARKERS-REMOVE & RESET
- RIGHT-OF-WAY MARKERS-NEW
- CONTROLLED ACCESS
- EXISTING SANITARY SEWERS
- EXISTING GAS LINES
- EXISTING WATER LINES
- EXISTING TELEPHONE CABLES UNDERGROUND

2009 OKLAHOMA STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION - ENGLISH GOVERN, APPROVED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, JANUARY 4, 2010

STATE OF OKLAHOMA  
 DEPARTMENT OF TRANSPORTATION

PLAN OF PROPOSED  
**STREET RECONSTRUCTION**

STATE AID PROJECT NO. STPY-255F(156)EC  
 GRADING, DRAINAGE, SURFACING, LIGHTING AND SIGNALIZATION PLANS

KICKAPOO STREET  
 FROM FARRALL ST. TO KICKAPOO SPUR  
**POTTAWATOMIE COUNTY**

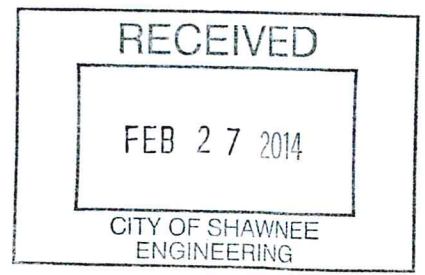
STATE JOB NO. 30227(08)

SHEET INDEX

NO.	DESCRIPTION
1	TITLE SHEET
2	TYPICAL SECTION SHEET

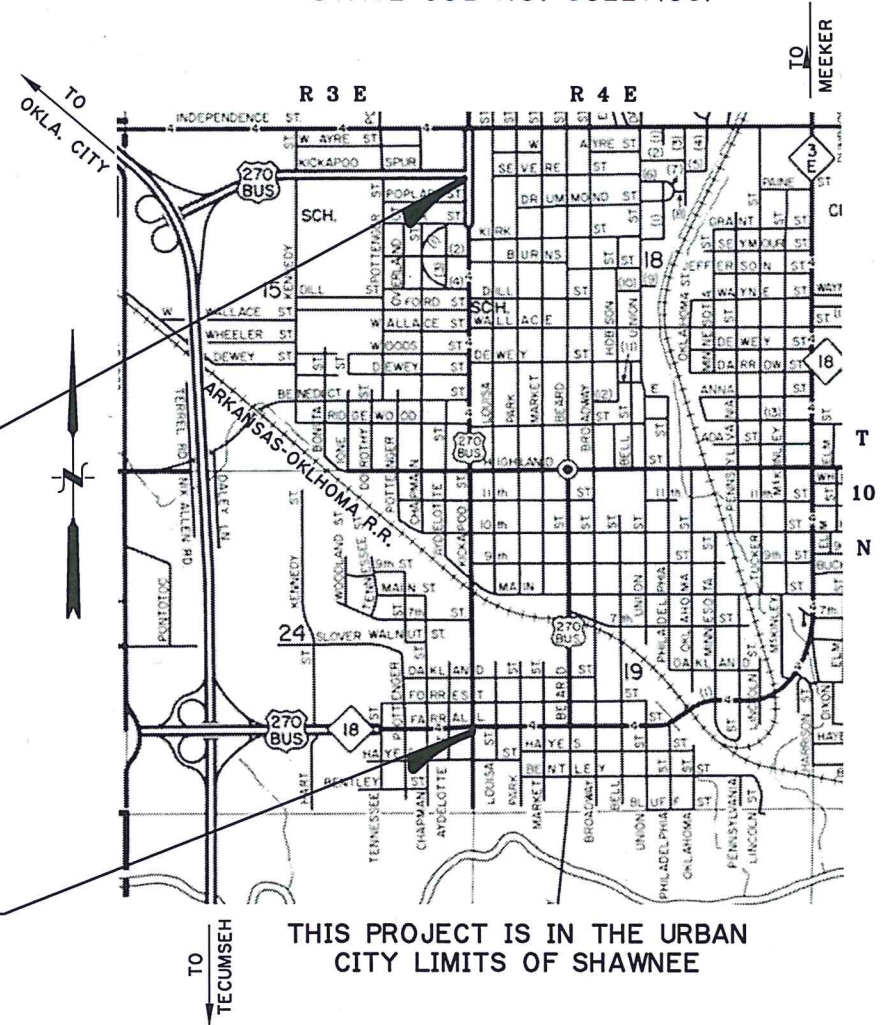
**PRELIMINARY  
 PLANS  
 FEB. 27, 2014**

**THE FOLLOWING ODOT  
 STANDARDS WILL BE REQUIRED:**  
 ROADWAY: \_\_\_\_\_ BRIDGE: \_\_\_\_\_ TRAFFIC: \_\_\_\_\_



STA. 110+50.00  
 END STPY-255F(156)EC

STA. 27+55.73  
 BEG. STPY-255F(156)EC



THIS PROJECT IS IN THE URBAN  
 CITY LIMITS OF SHAWNEE

ROADWAY LENGTH \_\_\_\_\_ 000.00 FT. \_\_\_\_\_ 0.00 MILES  
 BRIDGE LENGTH \_\_\_\_\_ 0.00 FT. \_\_\_\_\_ 0.00 MILES  
 PROJECT LENGTH \_\_\_\_\_ 000.00 FT. \_\_\_\_\_ 0.00 MILES  
 EQUATION \_\_\_\_\_ NONE  
 EXCEPTIONS \_\_\_\_\_ NONE

PREPARED AND SUBMITTED BY:

**POE & ASSOCIATES INC.**  
 Oklahoma City, Oklahoma  
 CA NO. 541

DATE \_\_\_\_\_ OKLA. REG. NO. 26227

DATE \_\_\_\_\_ OKLA. REG. NO. 16021

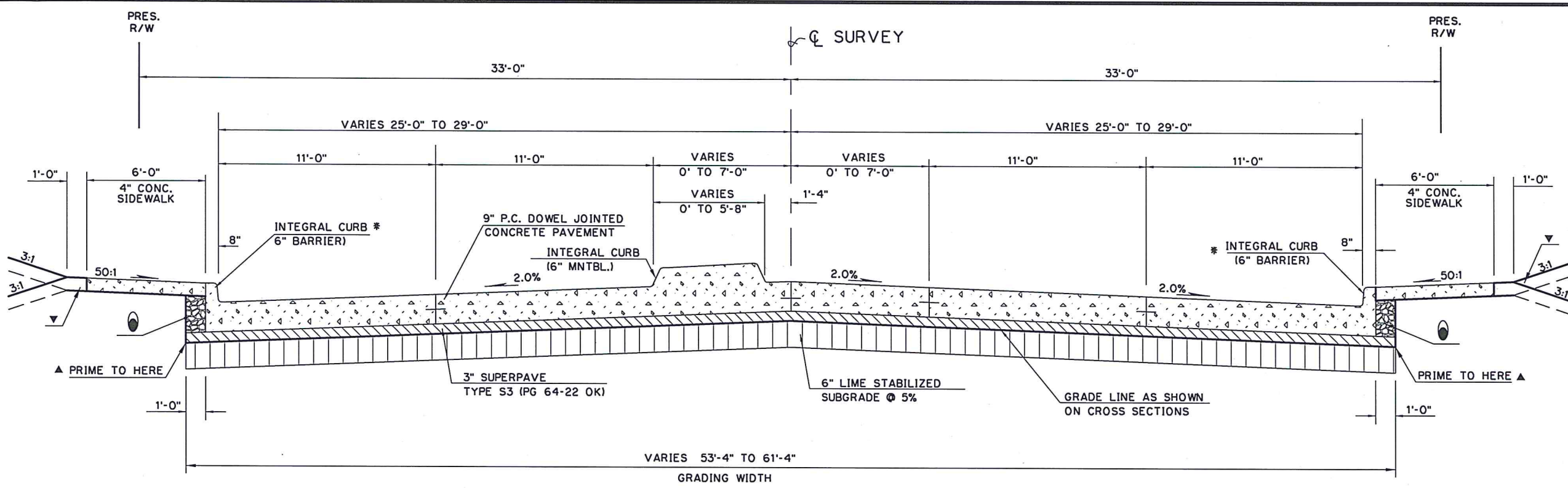
**DENNIS R. ECKER**  
 26227  
 OKLAHOMA

**TIMOTHY RAY PURKEPILE**  
 16021  
 OKLAHOMA

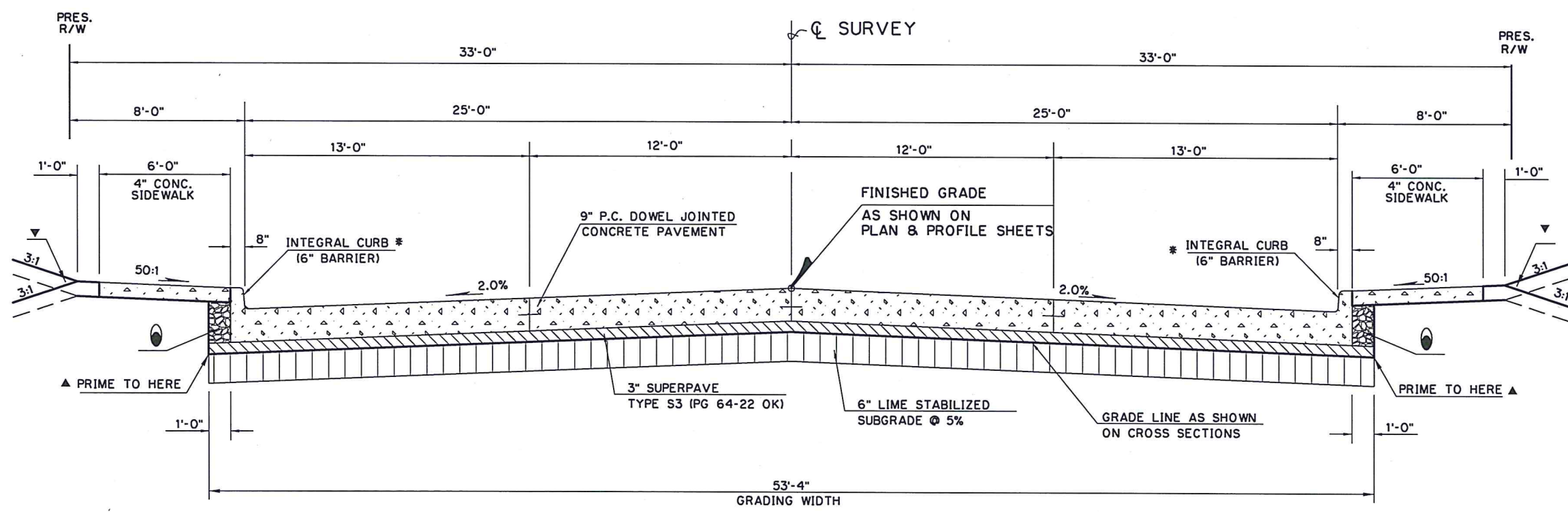
OKLAHOMA DEPARTMENT OF TRANSPORTATION	DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION
DATE APPROVED _____	DATE APPROVED _____
BY _____	BY _____
CHIEF ENGINEER	DIVISION ADMINISTRATOR
SWO	SHEET NO. 1

STATE AID PROJECT NO. STPY-255F(156)EC

FED. ROAD DIST. NO.	STATE	PROJ. NO.	FISCAL YEAR	SHEET NO.	TOTAL SHEETS
6	OKLA.				
DESCRIPTION		REVISIONS		DATE	



**TYPICAL SECTION NO.**  
KIRK ST. TO KICKAPOO SPUR



**TYPICAL SECTION NO.**  
MAIN ST. TO KIRK ST.

- BACKFILL NOTE:  
THIS AREA TO BE BACKFILLED AND COMPACTED AS A PART OF THE FINISHING OPERATIONS USING TRAFFIC BOUND SURFACE COURSE, TYPE E.
- ▼ TOPSOIL NOTE:  
THE CONTRACTOR SHALL STRIP ALL OF THE AVAILABLE TOPSOIL, STOCKPILE IT, AND PLACE IT BACK ON THE SECTION IN ACCORDANCE WITH SECTION 205 OF THE STANDARD SPECIFICATION. RESERVED TOPSOIL SHALL BE SPREAD FIRST ON THE COMPLETED SLOPES OF THE CUT SECTIONS AND THE REMAINDER ON COMPLETED FILL SLOPES OR OTHER PRIORITY AREAS LOCATED BY THE ENGINEER. ALL ADDITIONAL COSTS ASSOCIATED WITH OPERATION SHALL BE INCLUDED IN THE PAY ITEM FOR SALVAGED TOPSOIL, LUMP SUM.
- ▲ NOTE:  
PRIME COAT IS TO BE APPLIED AFTER KILN DUST/LIME SUBGRADE MODIFICATION HAS BEEN DONE TO RETAIN MOISTURE FOR PROPER CHEMICAL REACTION TO TAKE PLACE.

NOTE:  
ALL FEATURES OF THIS PROJECT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT INCLUDING, BUT NOT LIMITED TO SIDEWALKS, CURBS, RAMPS, AND CROSS WALK MARKINGS.

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Checked	
Approved	
Squad	POE

**TYPICAL SECTIONS  
PROJECT 1**

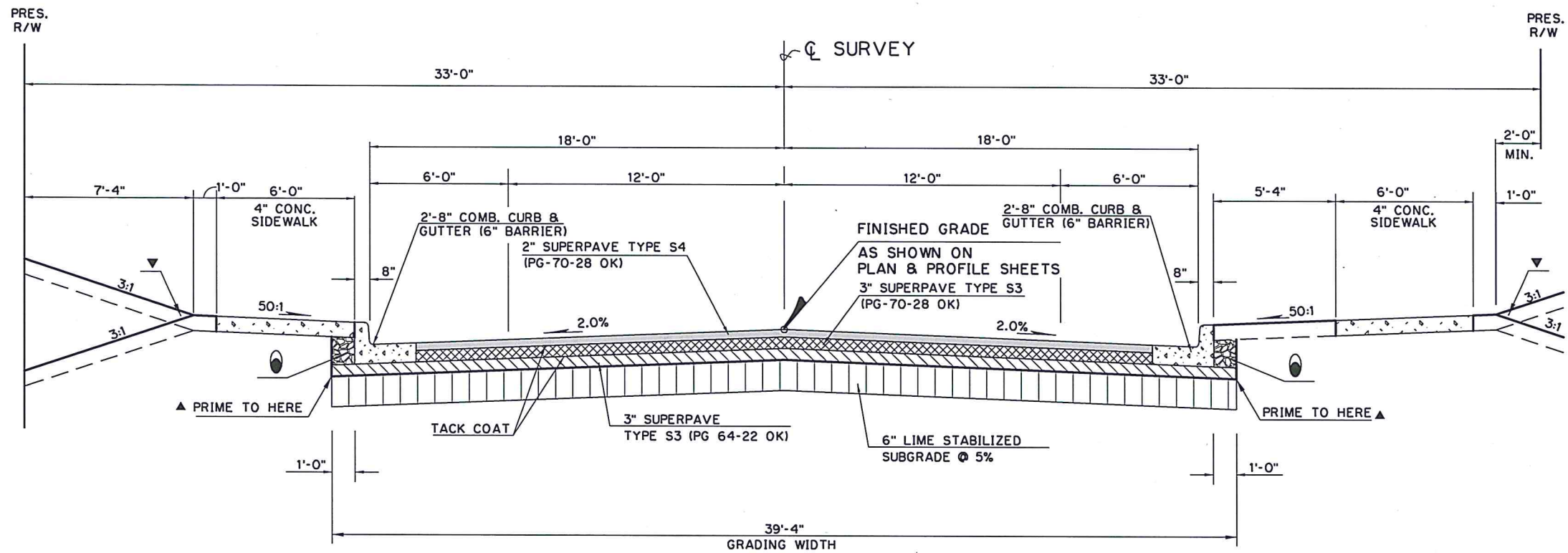
State Job No. 30227(08) Sheet No. 2

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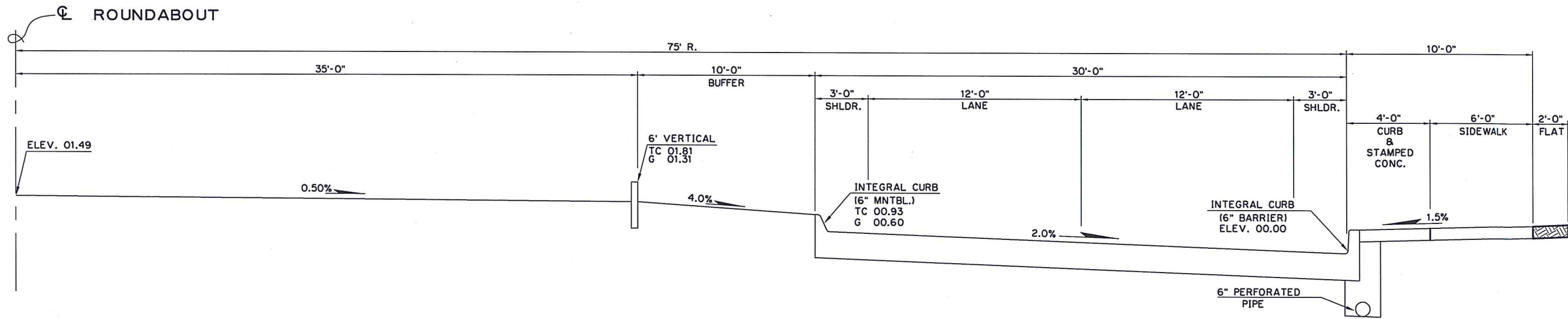
  

DESCRIPTION	REVISIONS	DATE



**TYPICAL SECTION SECTION NO.**  
FARRALL ST. TO MAIN ST.

- **BACKFILL NOTE:**  
THIS AREA TO BE BACKFILLED AND COMPACTED AS A PART OF THE FINISHING OPERATIONS USING TRAFFIC BOUND SURFACE COURSE, TYPE E.
- ▼ **TOPSOIL NOTE:**  
THE CONTRACTOR SHALL STRIP ALL OF THE AVAILABLE TOPSOIL, STOCKPILE IT, AND PLACE IT BACK ON THE SECTION IN ACCORDANCE WITH SECTION 205 OF THE STANDARD SPECIFICATION. RESERVED TOPSOIL SHALL BE SPREAD FIRST ON THE COMPLETED SLOPES OF THE CUT SECTIONS AND THE REMAINDER ON COMPLETED FILL SLOPES OR OTHER PRIORITY AREAS LOCATED BY THE ENGINEER. ALL ADDITIONAL COSTS ASSOCIATED WITH OPERATION SHALL BE INCLUDED IN THE PAY ITEM FOR SALVAGED TOPSOIL, LUMP SUM.
- ◀ **NOTE:**  
PRIME COAT IS TO BE APPLIED AFTER KILN DUST/LIME SUBGRADE MODIFICATION HAS BEEN DONE TO RETAIN MOISTURE FOR PROPER CHEMICAL REACTION TO TAKE PLACE.



**TYPICAL SECTION SECTION NO.**  
ROUNDAABOUT ONLY

NOTE:  
ALL FEATURES OF THIS PROJECT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT INCLUDING, BUT NOT LIMITED TO SIDEWALKS, CURBS, RAMPS, AND CROSS WALK MARKINGS.

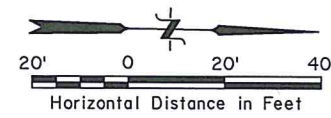
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**TYPICAL SECTIONS  
PROJECT 2**

State Job No. 30227(08) Sheet No. 3

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SEC.24, T-10-N, R-3-E



DESCRIPTION	REVISIONS	DATE

25+00

STA. 27+55.73 BEGIN PROJECT

FARRALL RD.

PRES. R/W

+72 CONST. 10' ASPH. DRIVE

STA. 29+00

Q SURVEY N 0°49'36.42" W

PRES. R/W

SEC.19, T-10-N, R-4-E

PROP. 24" W

+43.08-M.B. 21.1' RT.

+66.09-W.M. 31.6' LT.

+73.89-STOP SIGN 18.9' RT.

+83.88-O.H. ELEC. X-ING

+87.82-SPD. LMT. SIGN 71.6' LT.

+55.55-SPD. LMT. SIGN 96.5' LT.

+57.05-W.M. 33.9' LT.

+59.21-12" W.L. X-ING

+63.75-SPD. LMT. SIGN 22.8' LT.

+79.62-F.H. 24.4' RT.

+04.13-M.B. 22.0' LT.

+39.78-NO PARKING SIGN 15.8' RT.

+31.62-NO PARKING SIGN 20' L

+47.22-M.B. 2207' LT.

+56.7-W.M. 29.0' RT.

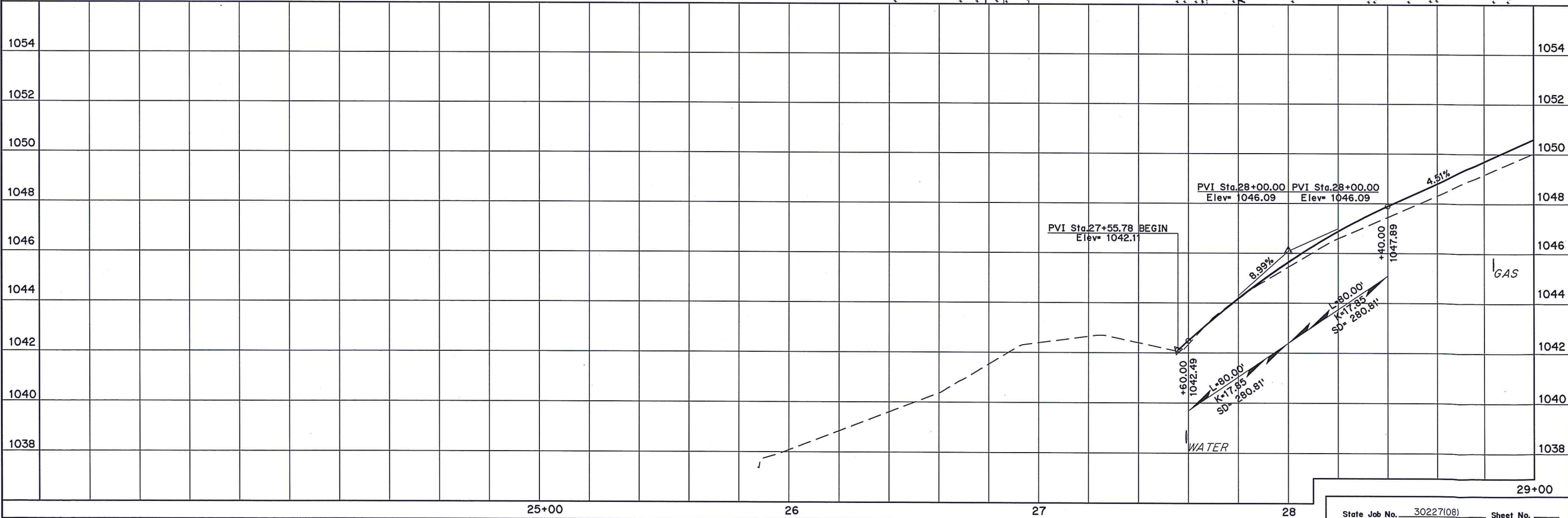
+62.69-W.M. 28.8' LT.

+83.81-GAS LINE X-ING

+91.76-W.M. 26.5' LT.

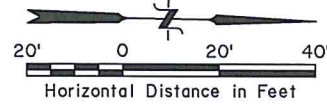
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PROFILE	BY	DATE





SEC.24, T-10-N, R-3-E



DESCRIPTION	REVISIONS	DATE

DATE	BY

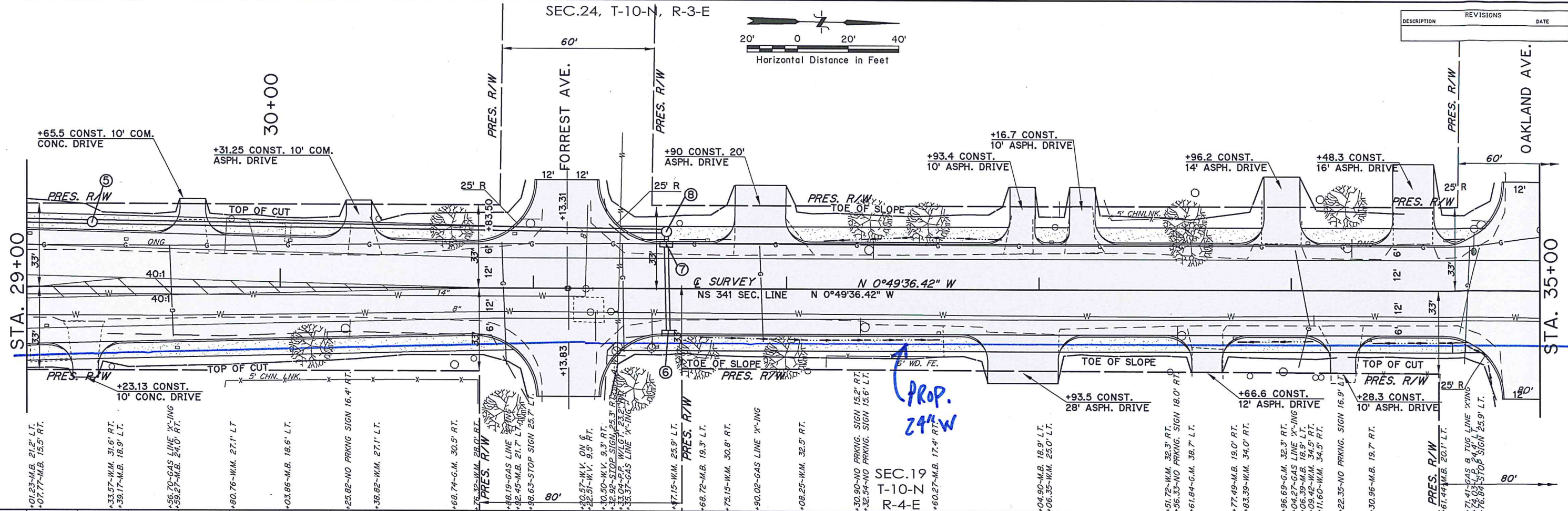
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DATE	BY

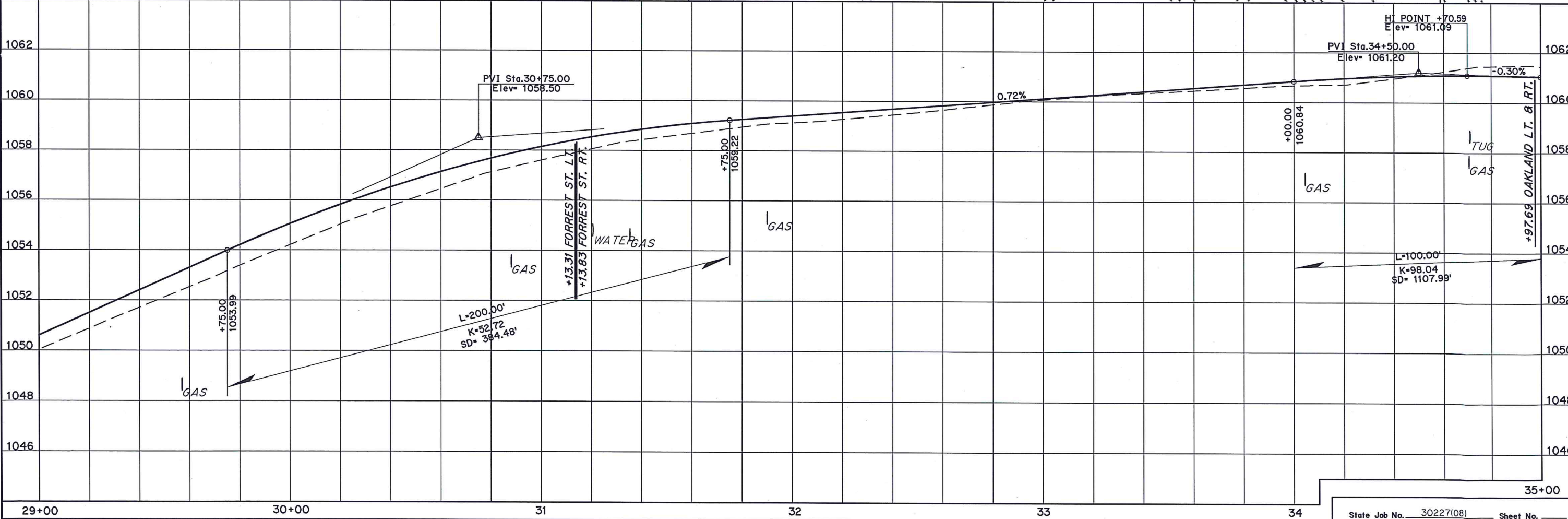
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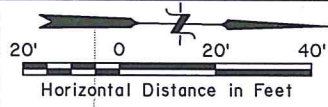
  

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SEC.24, T-10-N, R-3-E

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ADDITION



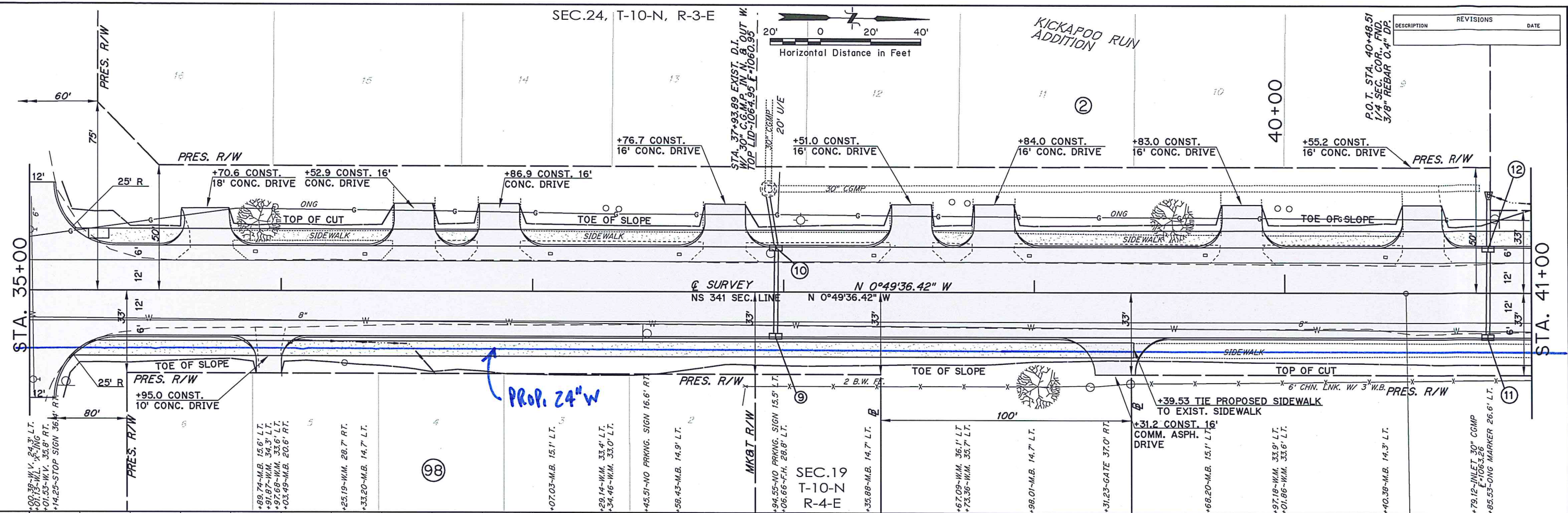
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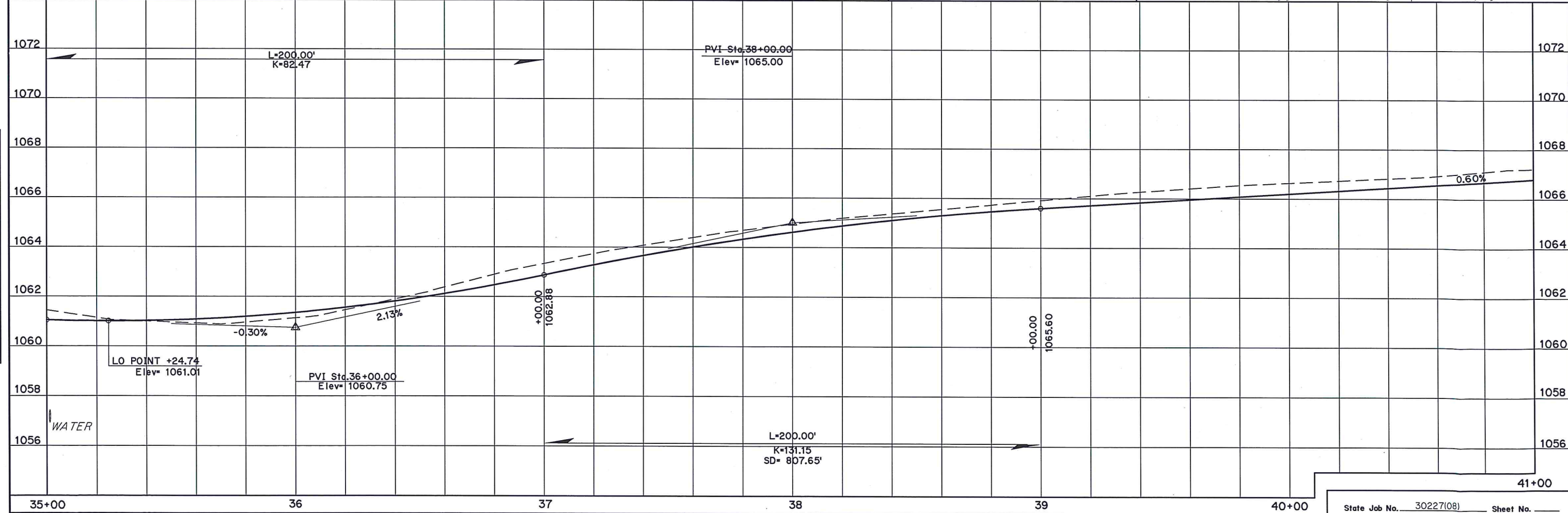


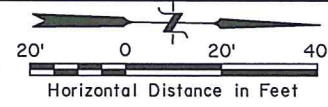
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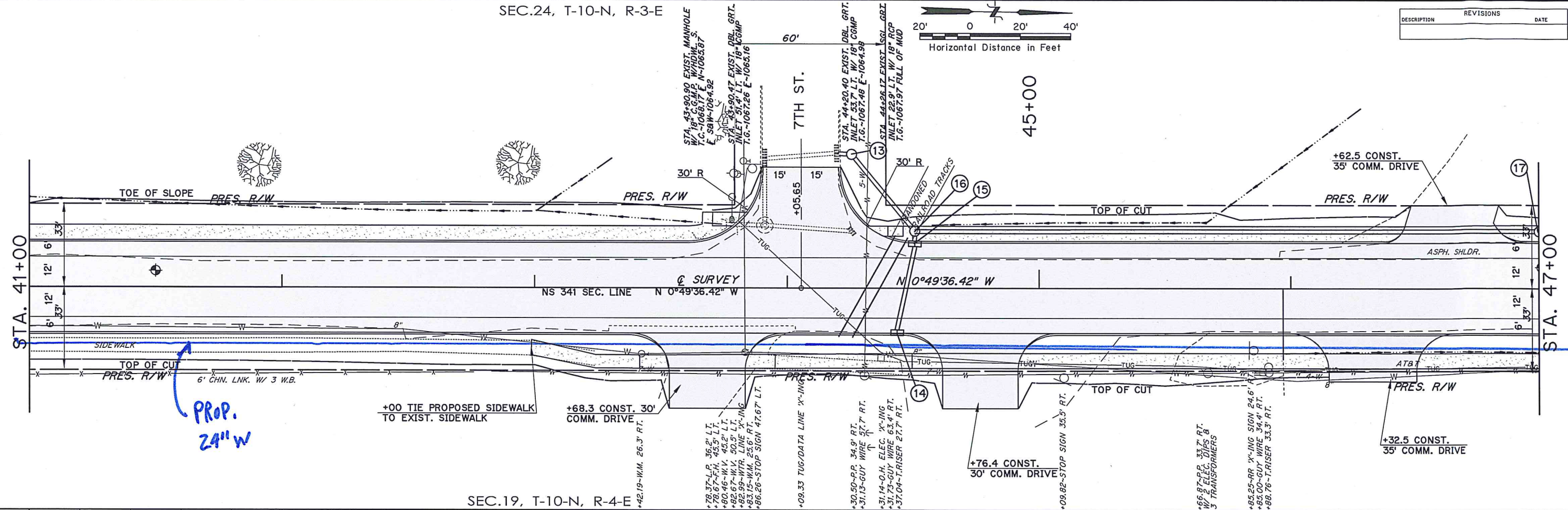
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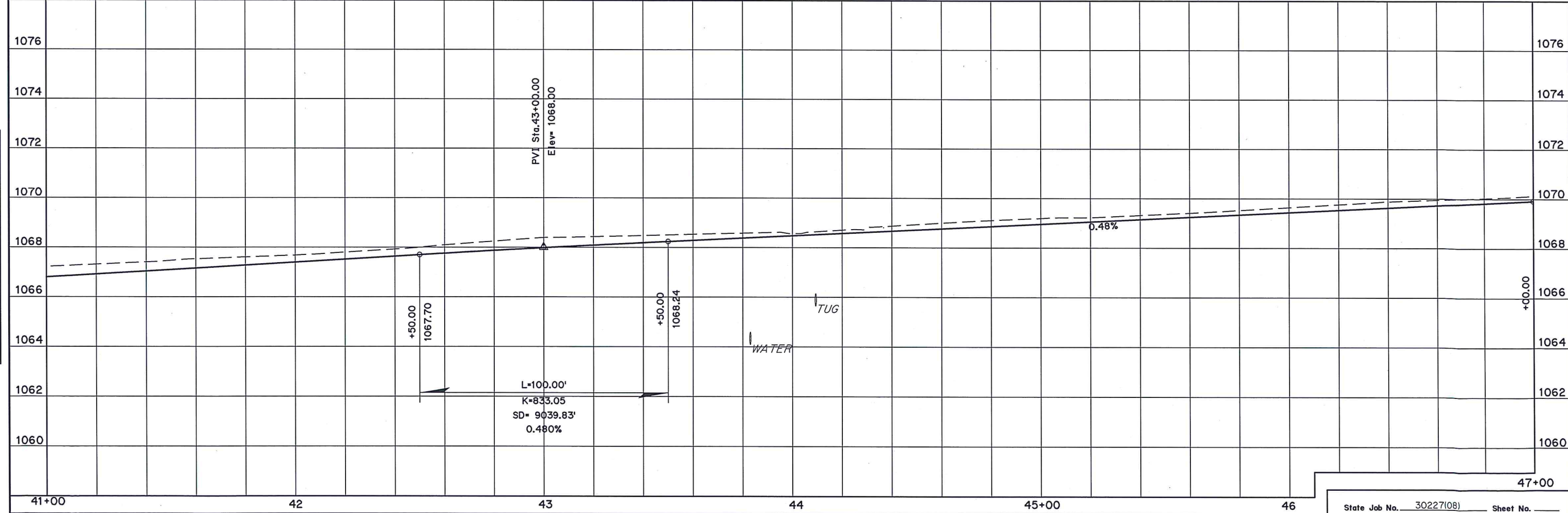


DESCRIPTION	REVISIONS	DATE

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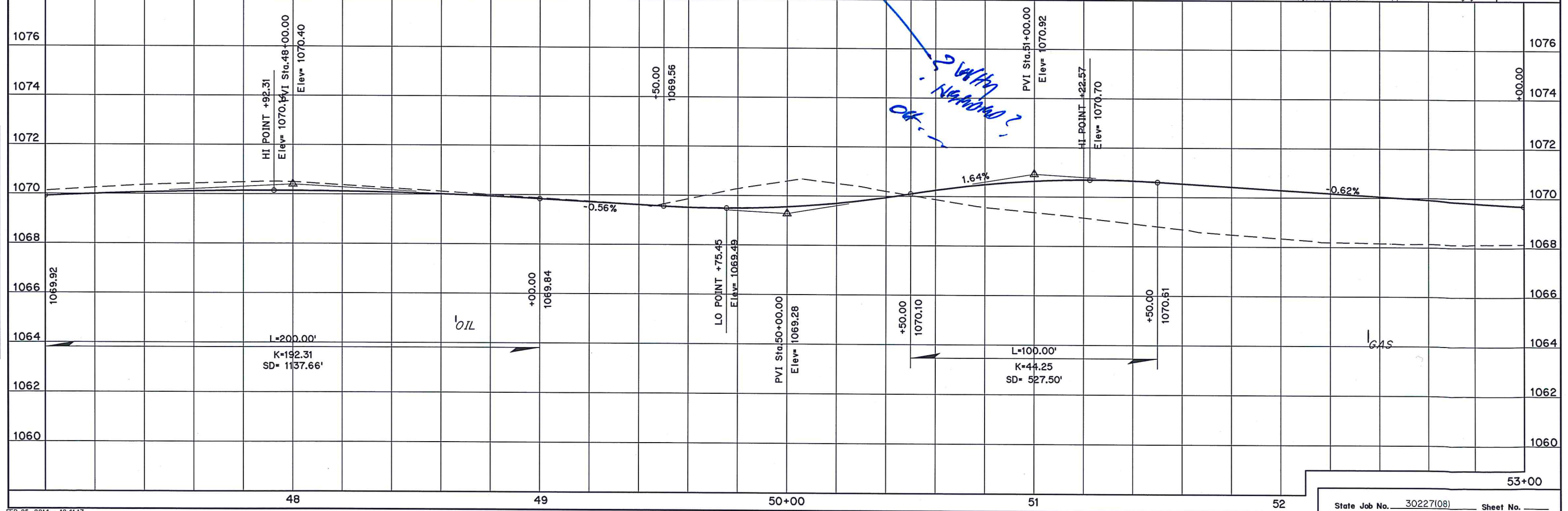
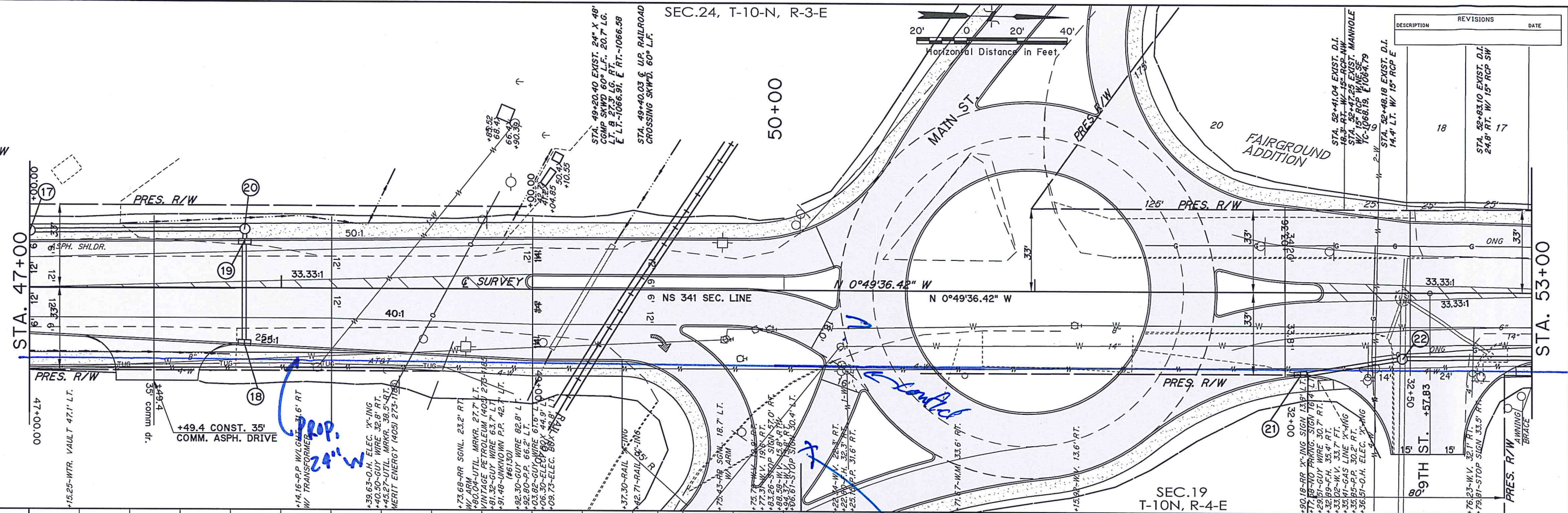
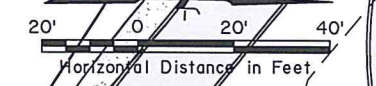
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SEC.24, T-10-N, R-3-E



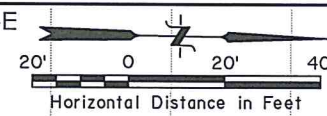
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17	

DESCRIPTION
STA. 52+41.04 EXIST. D.I. 18.3' RT. W/ 15' RCP NW STA. 52+47.25 EXIST. MANHOLE W/ 15' RCP W/ 15" ST. 17C-1068.15, E 1064.79
STA. 52+48.18 EXIST. D.I. 14.4' LT. W/ 15' RCP E
STA. 52+83.10 EXIST. D.I. 24.6' RT. W/ 15' RCP SW

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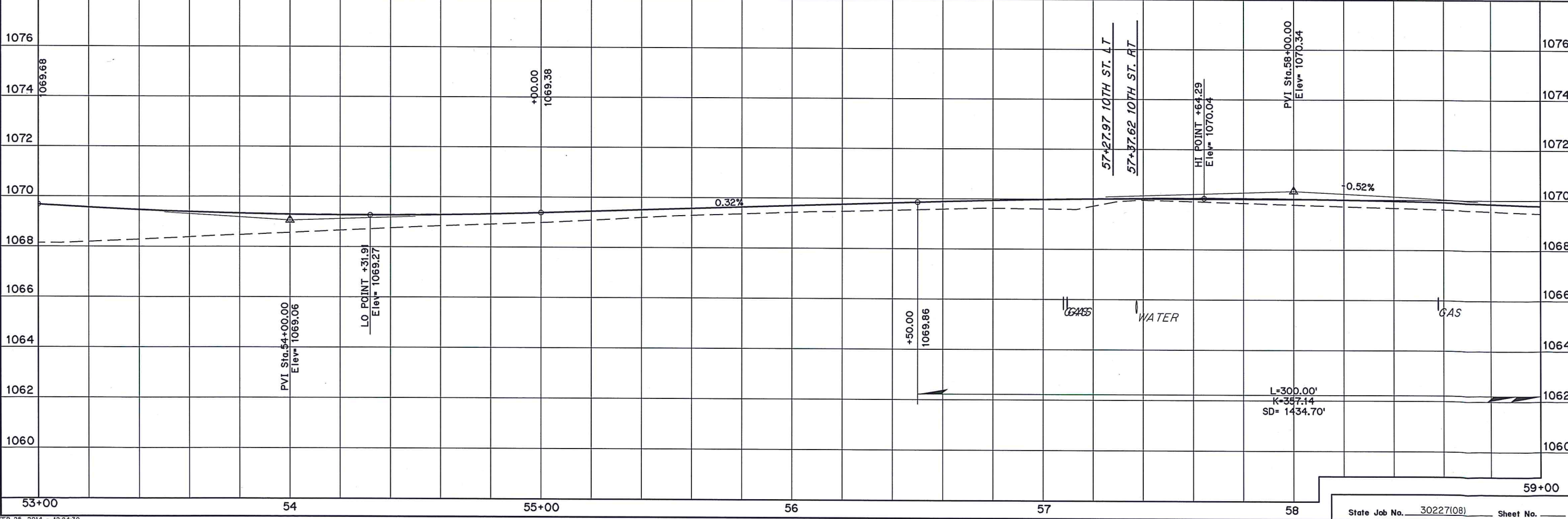
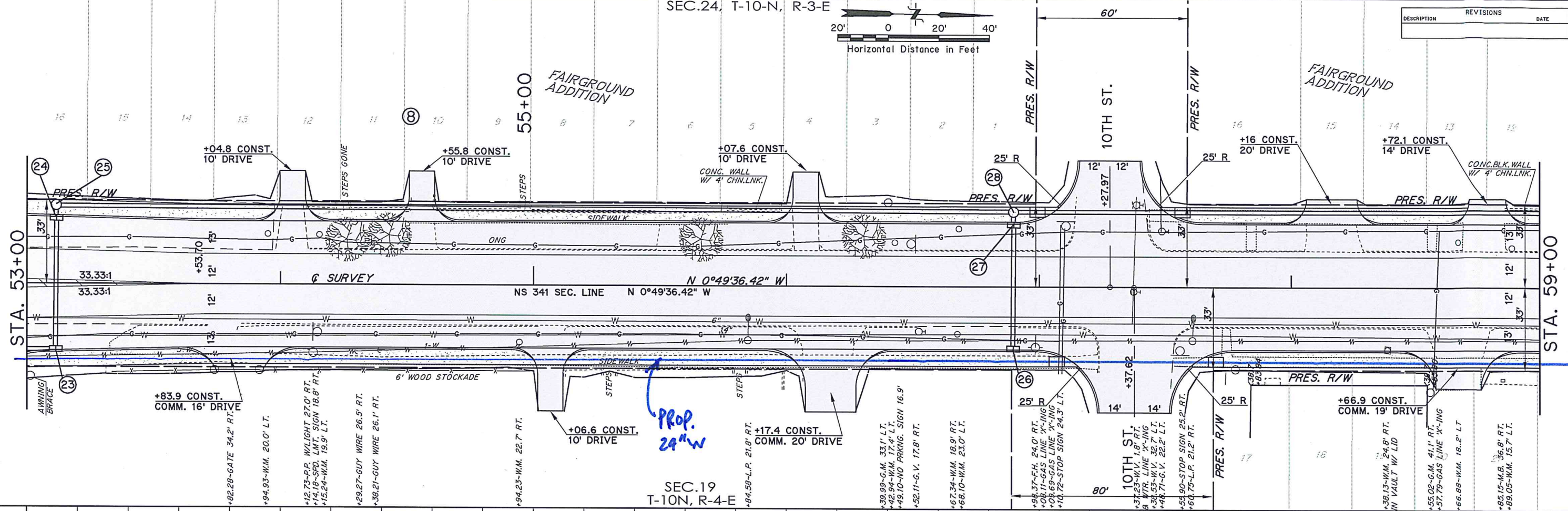
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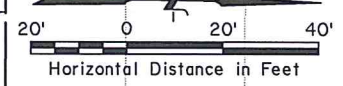
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STA. 59+00

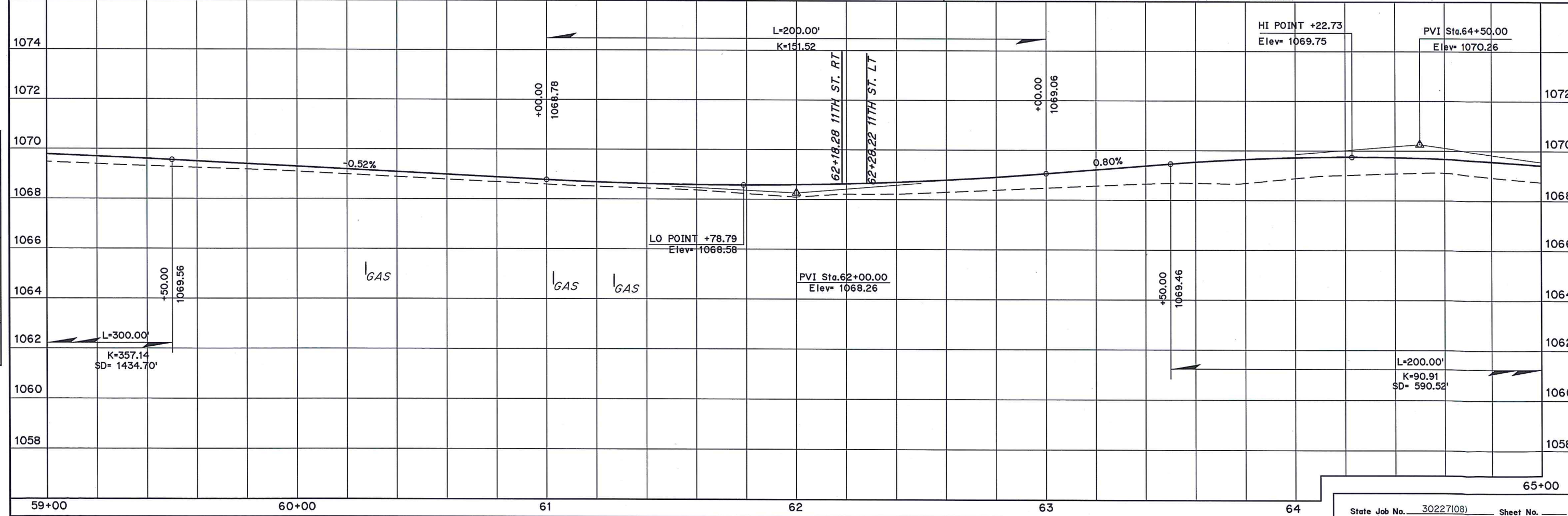
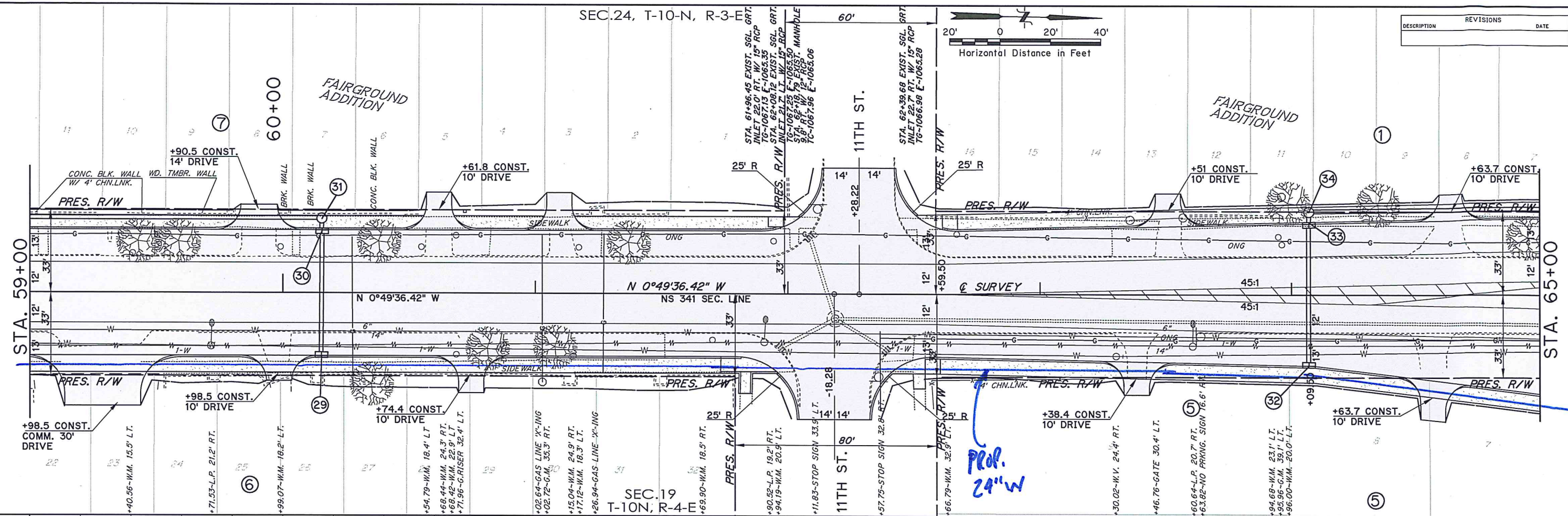


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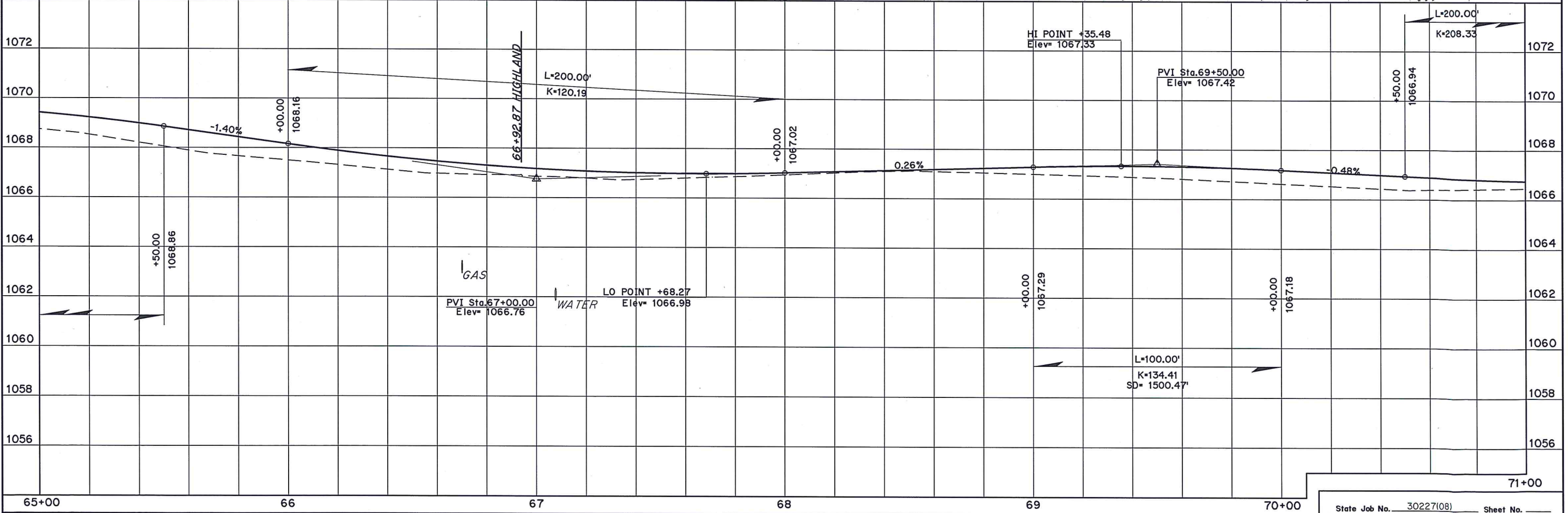
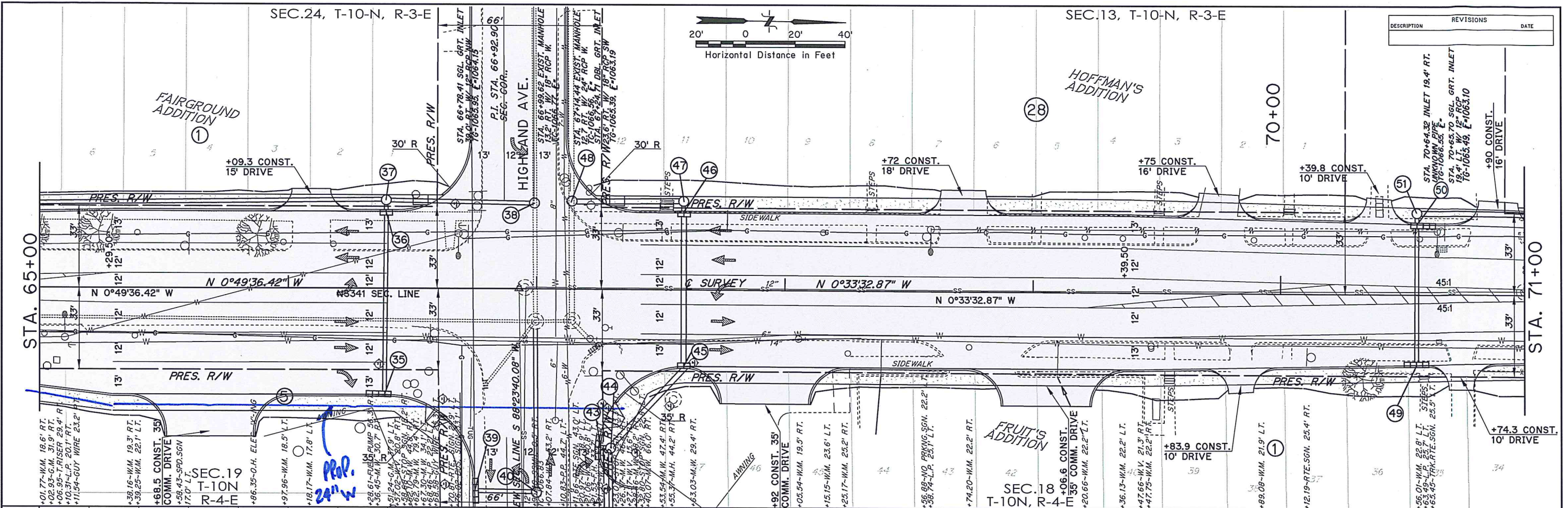
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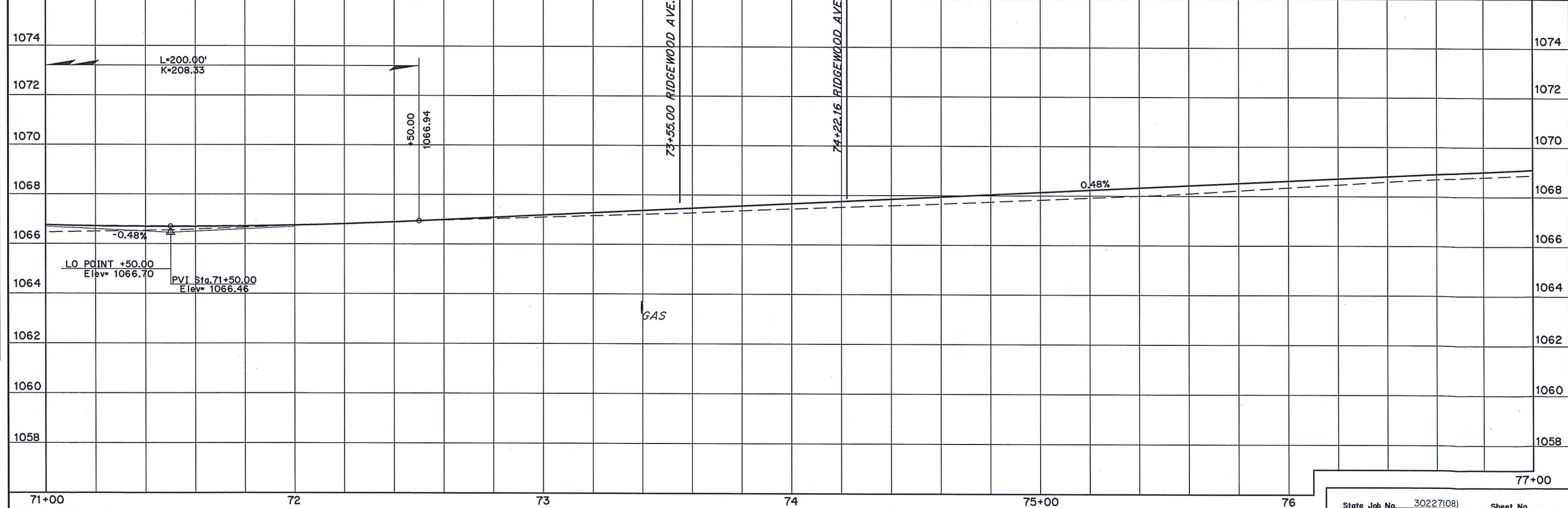
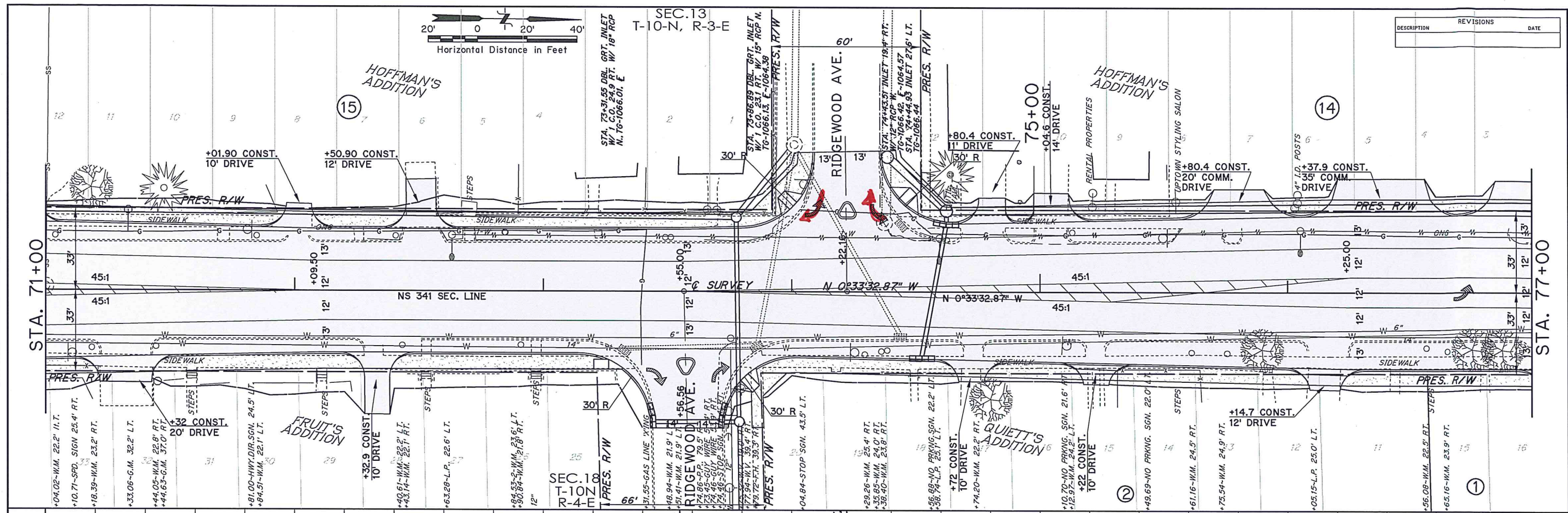
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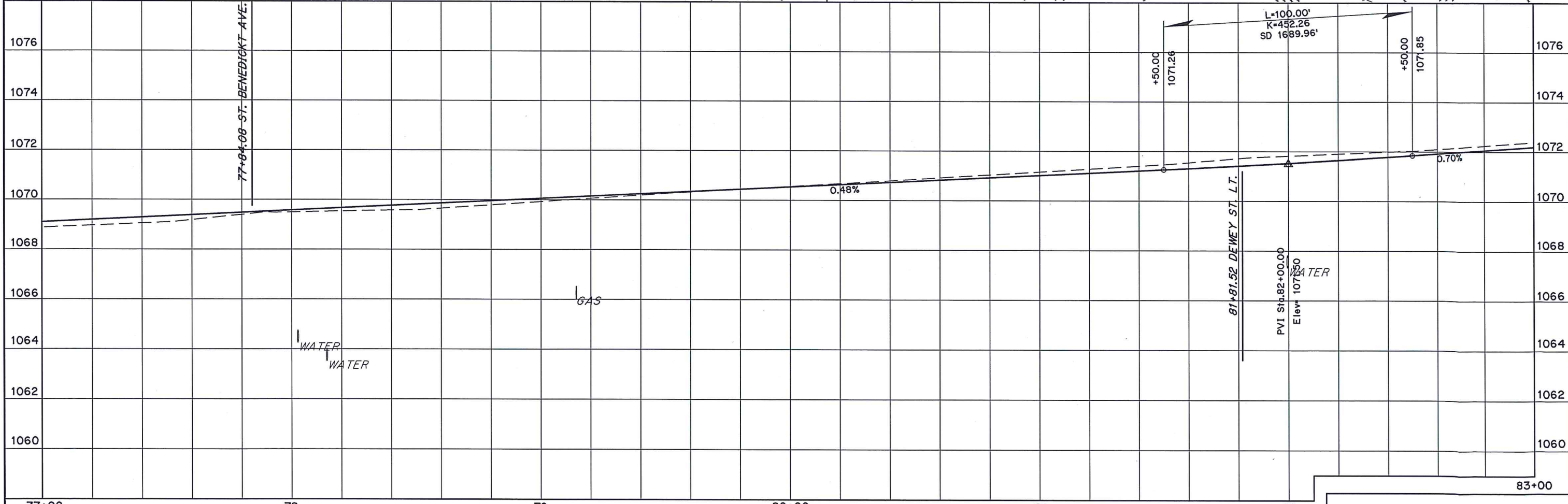
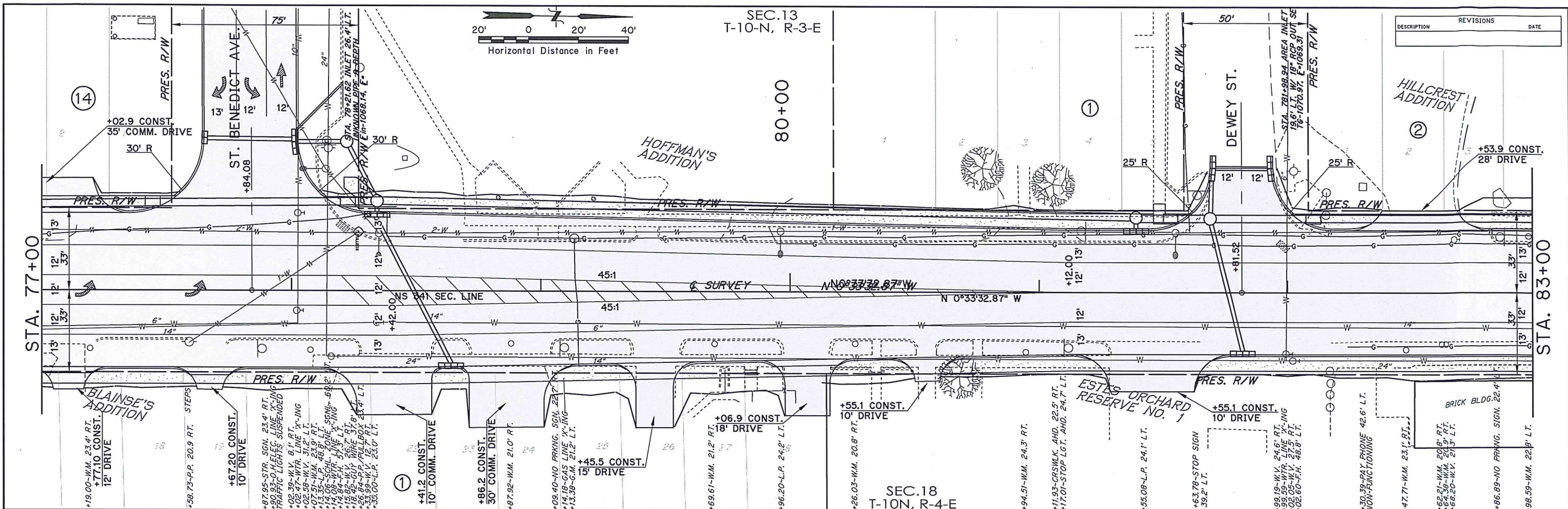


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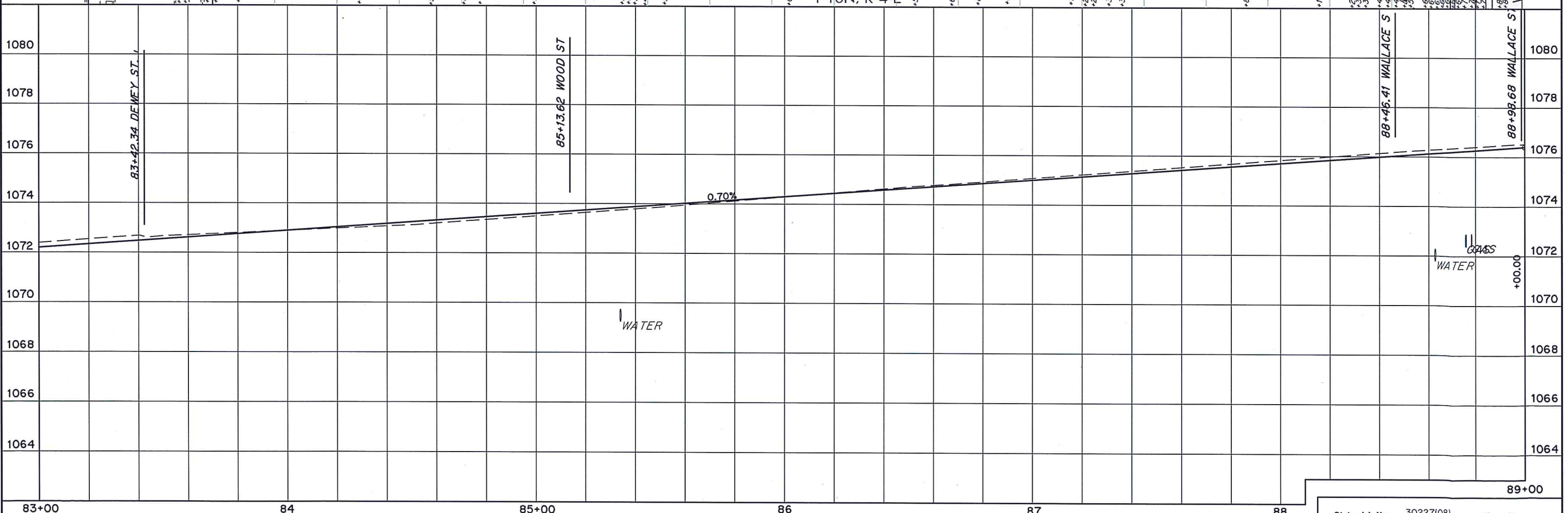
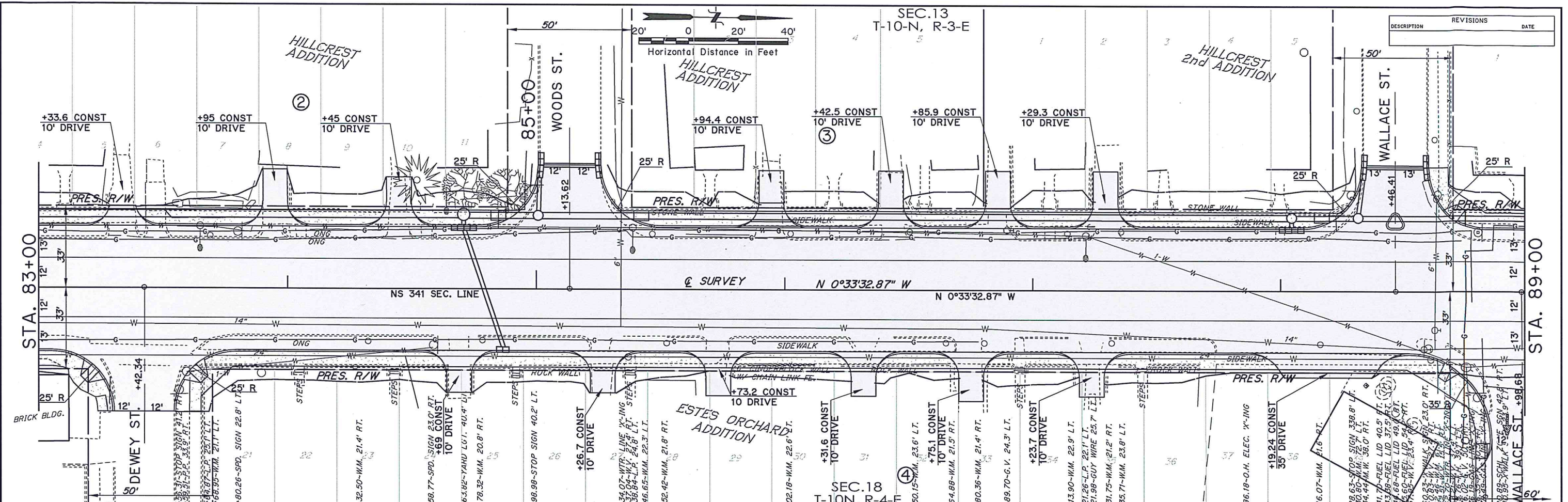
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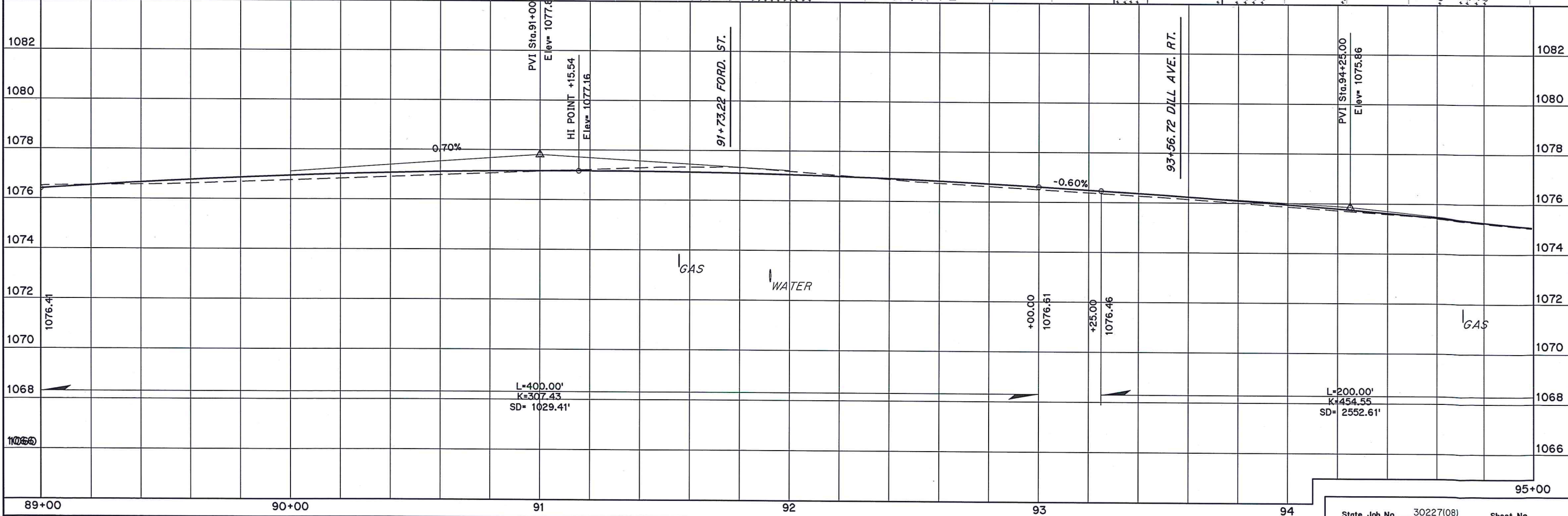
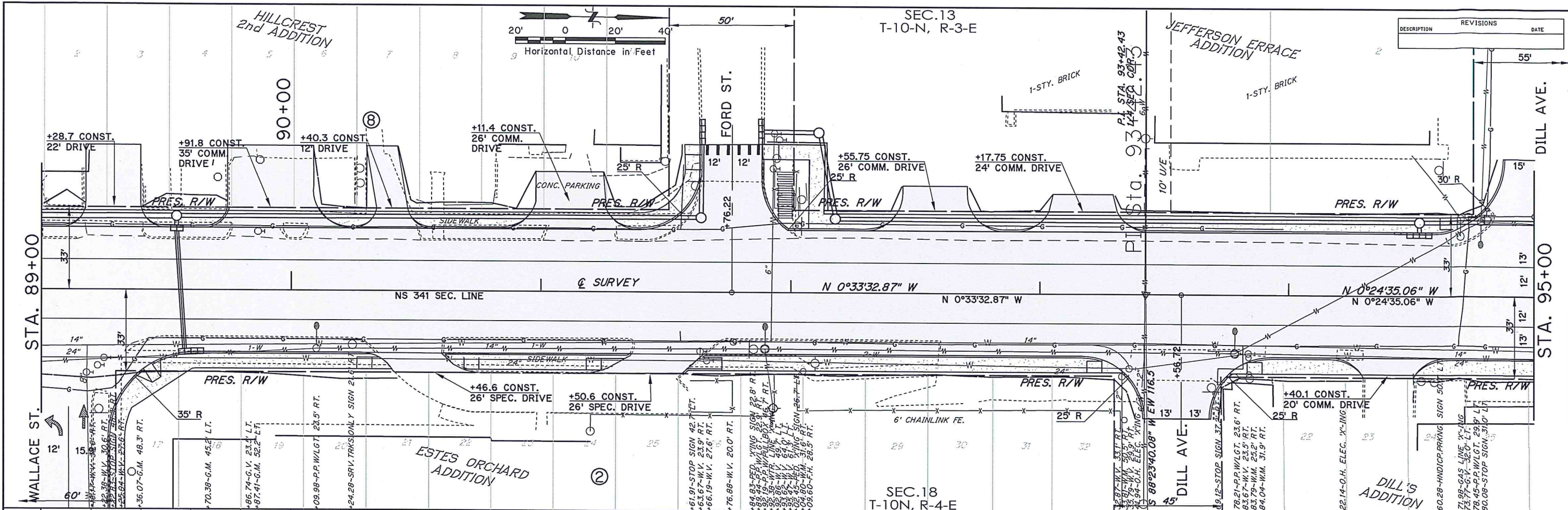
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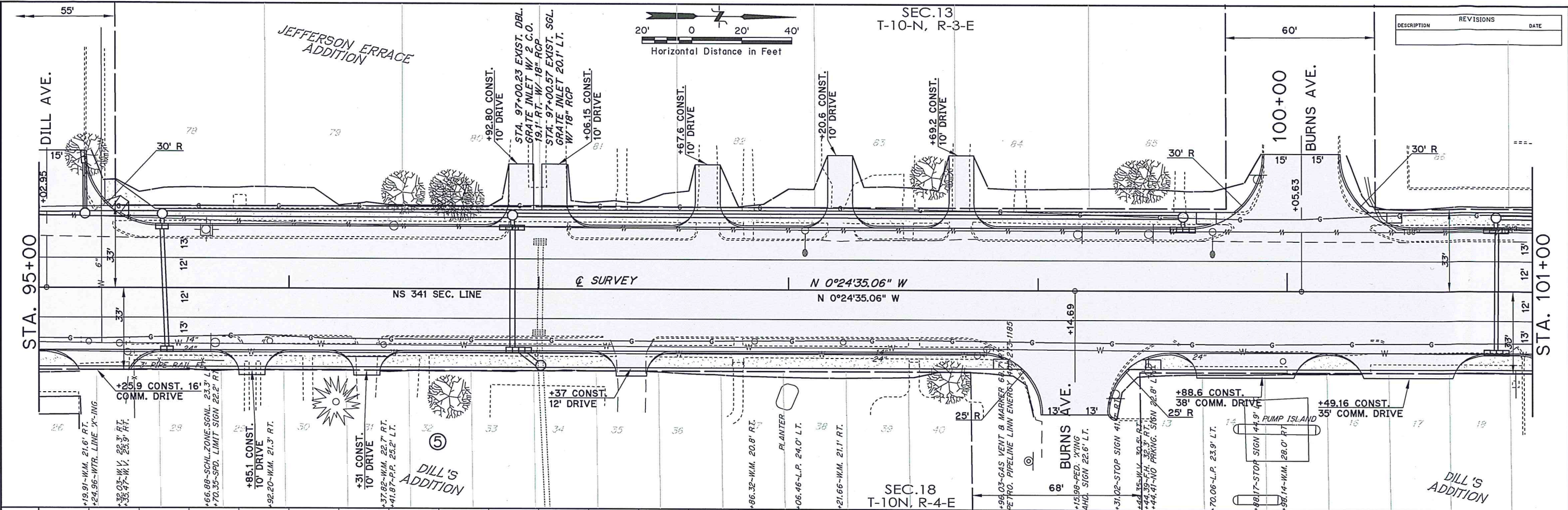
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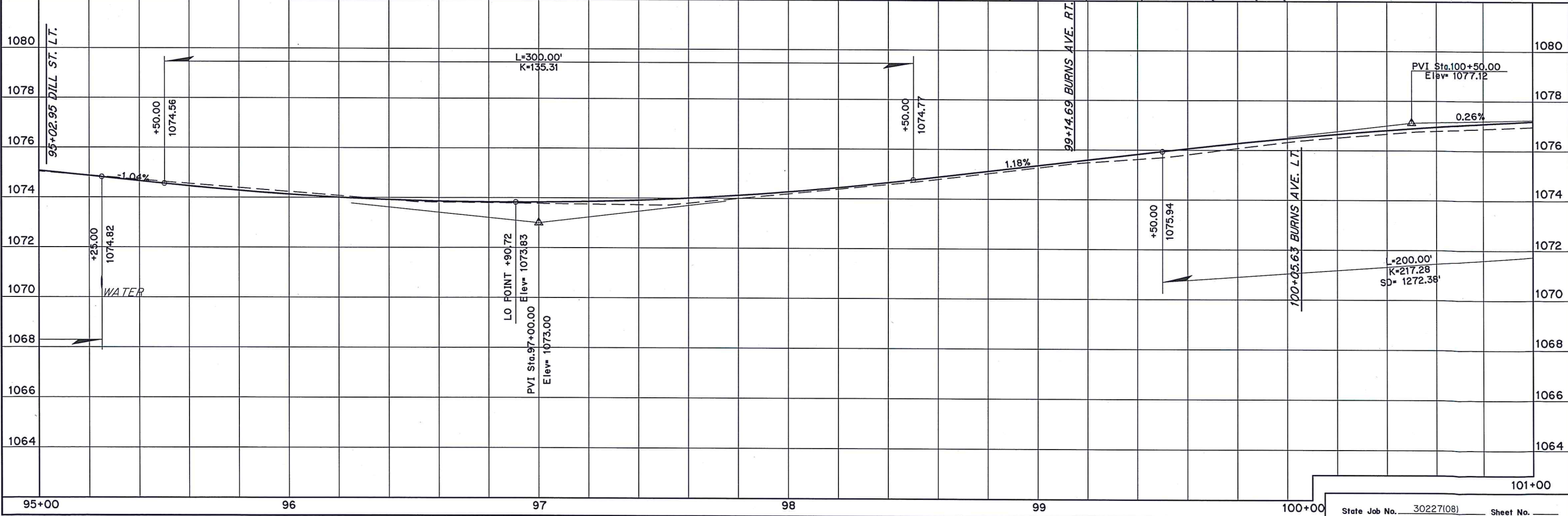


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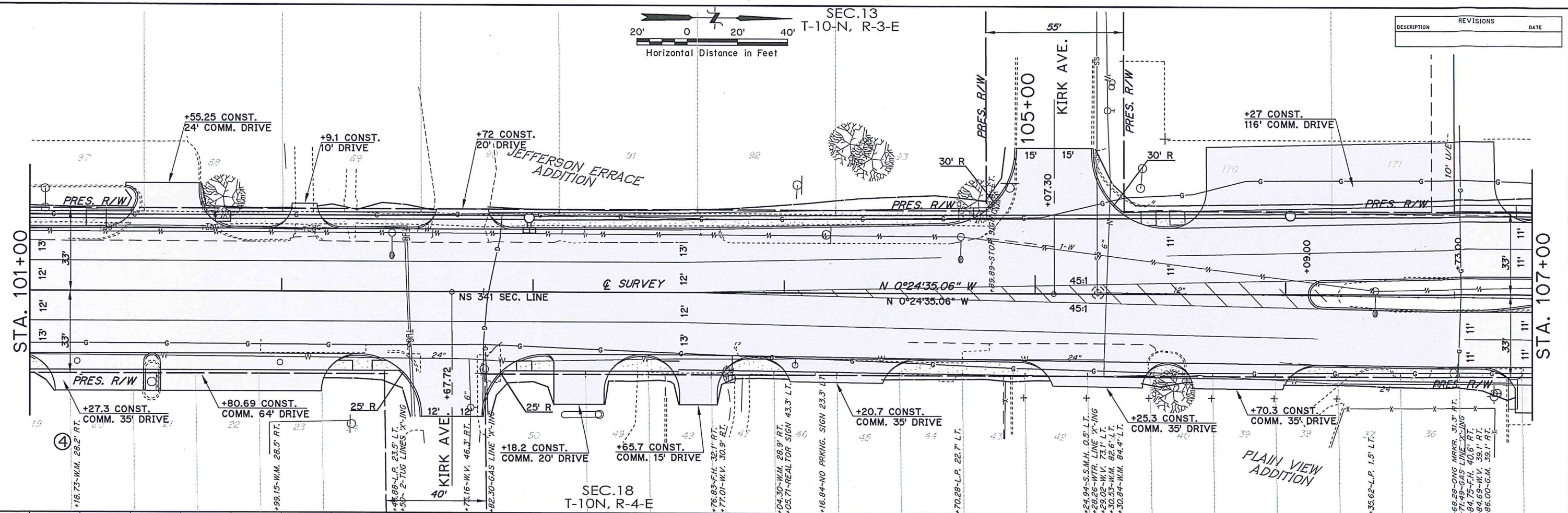


SEC.13  
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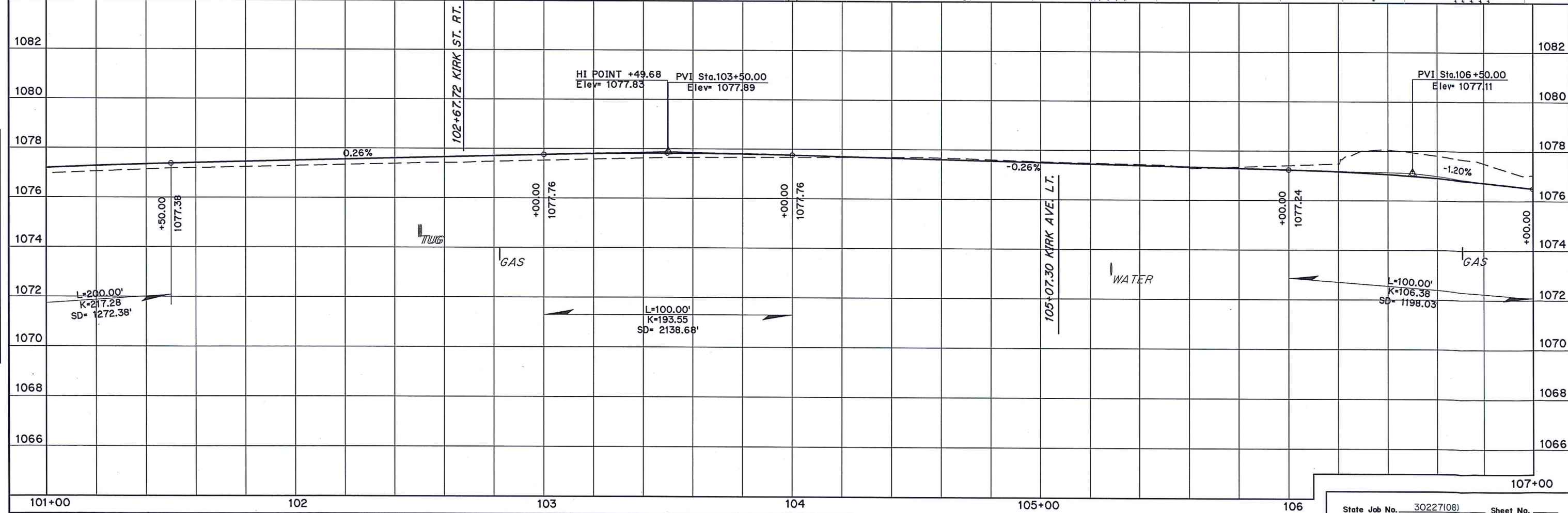
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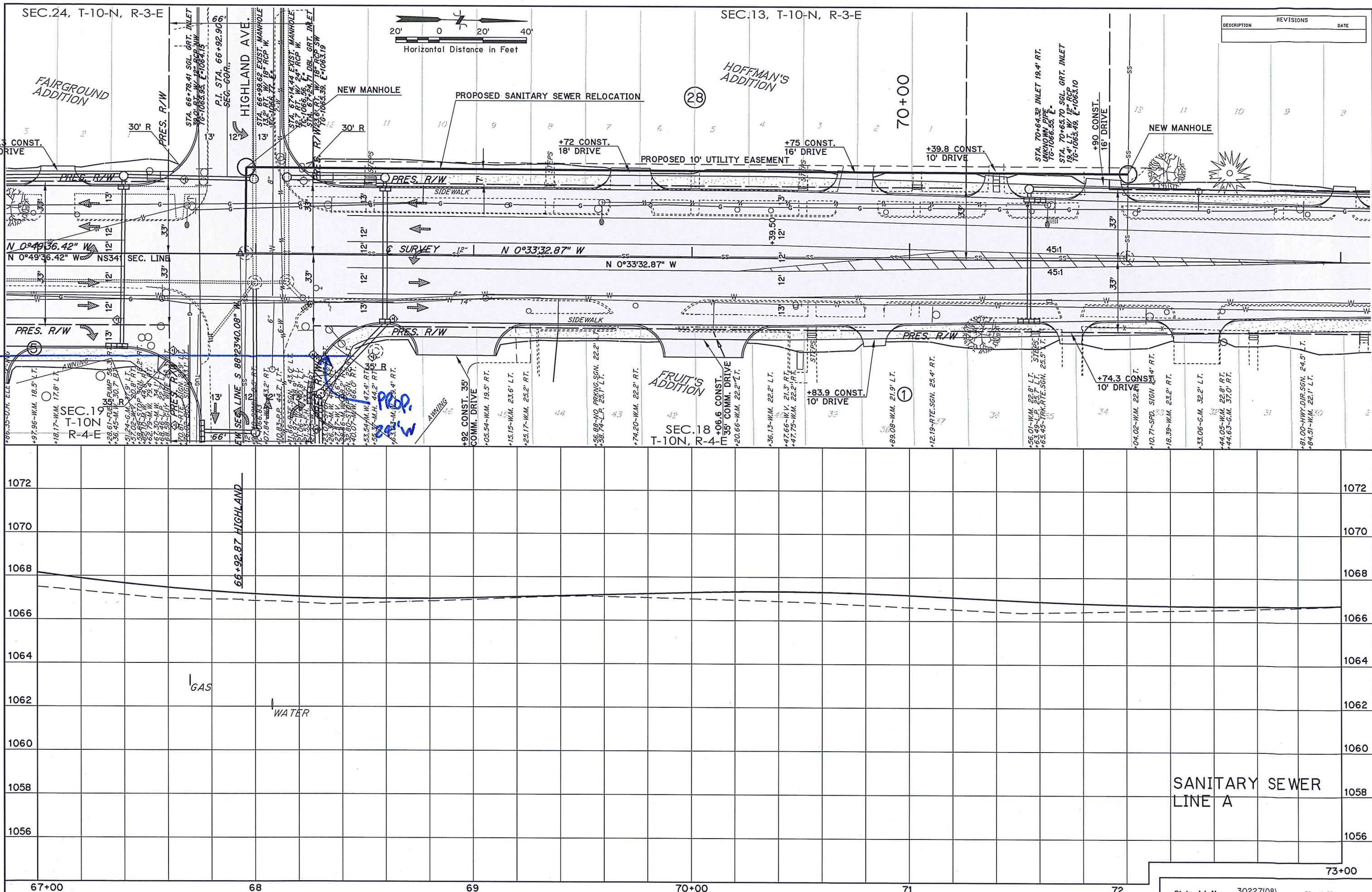
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PROFILE	DATE
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DESCRIPTION	REVISIONS	DATE

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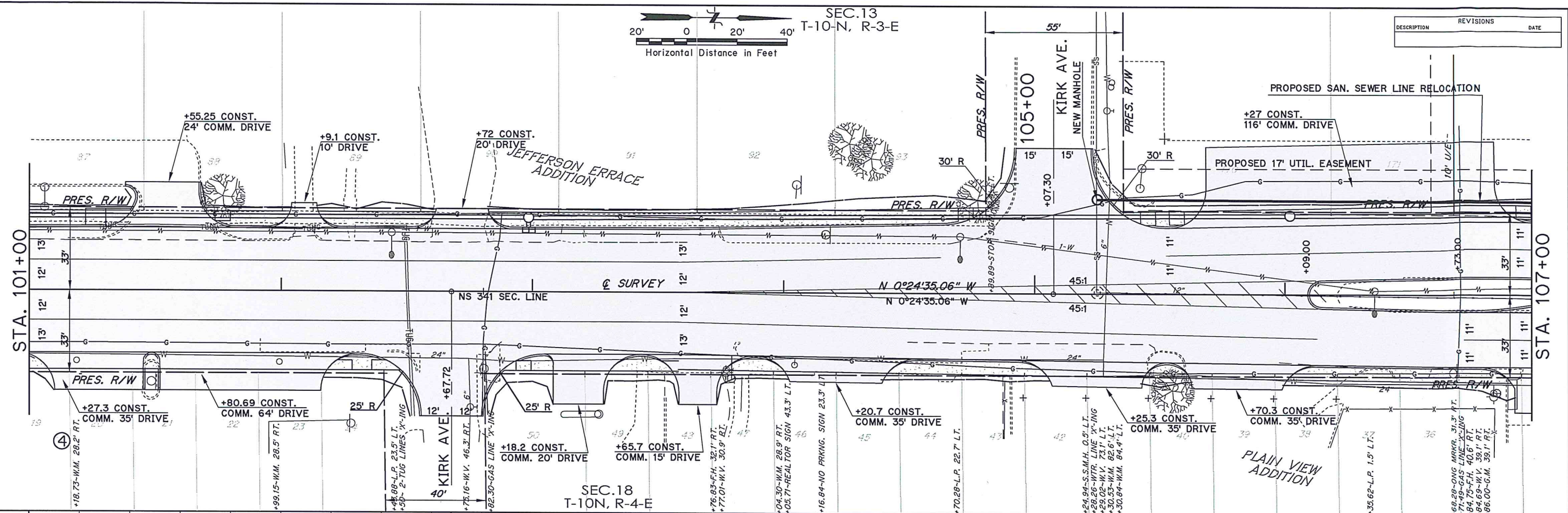
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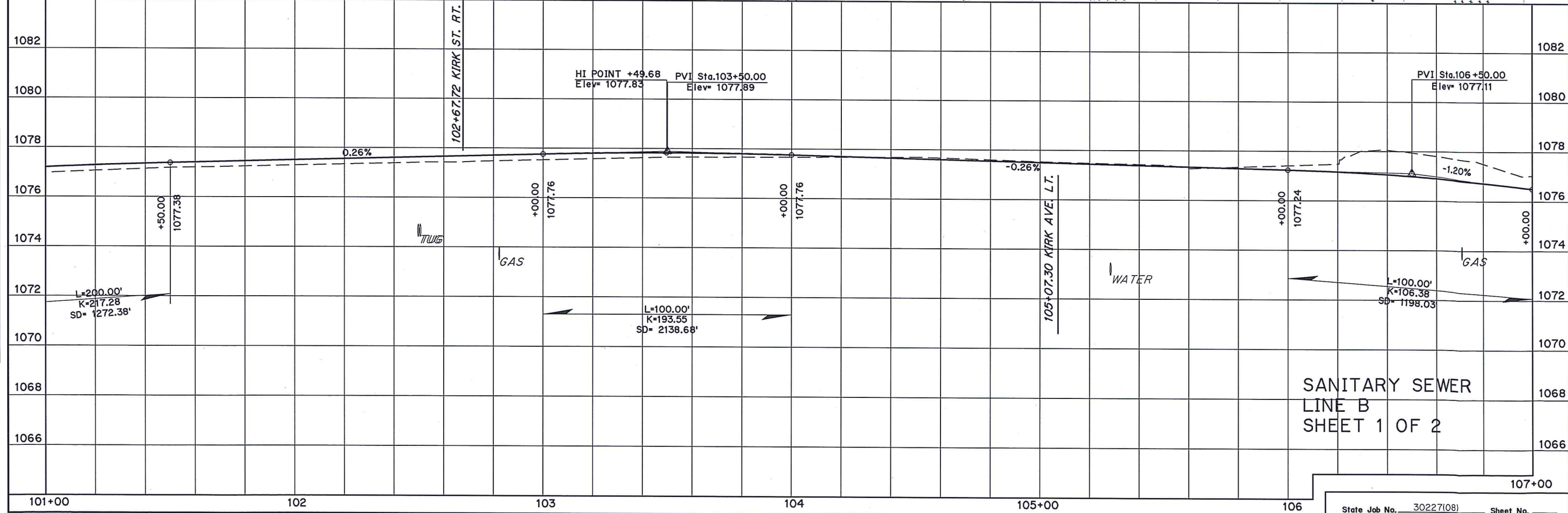
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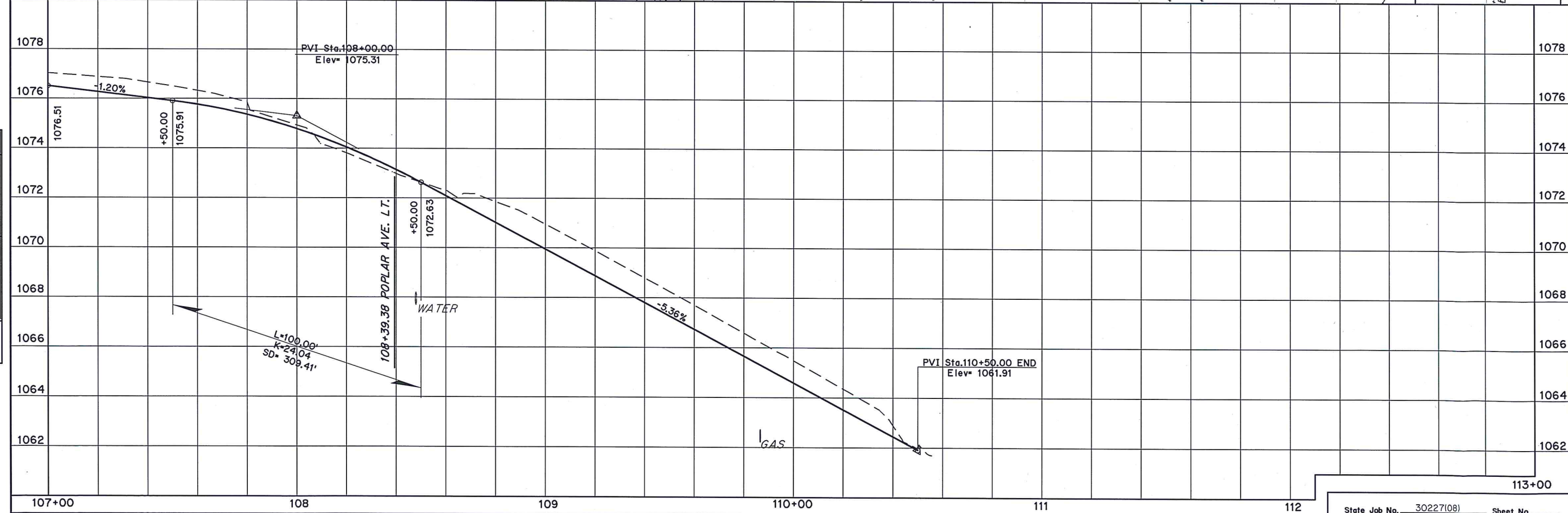
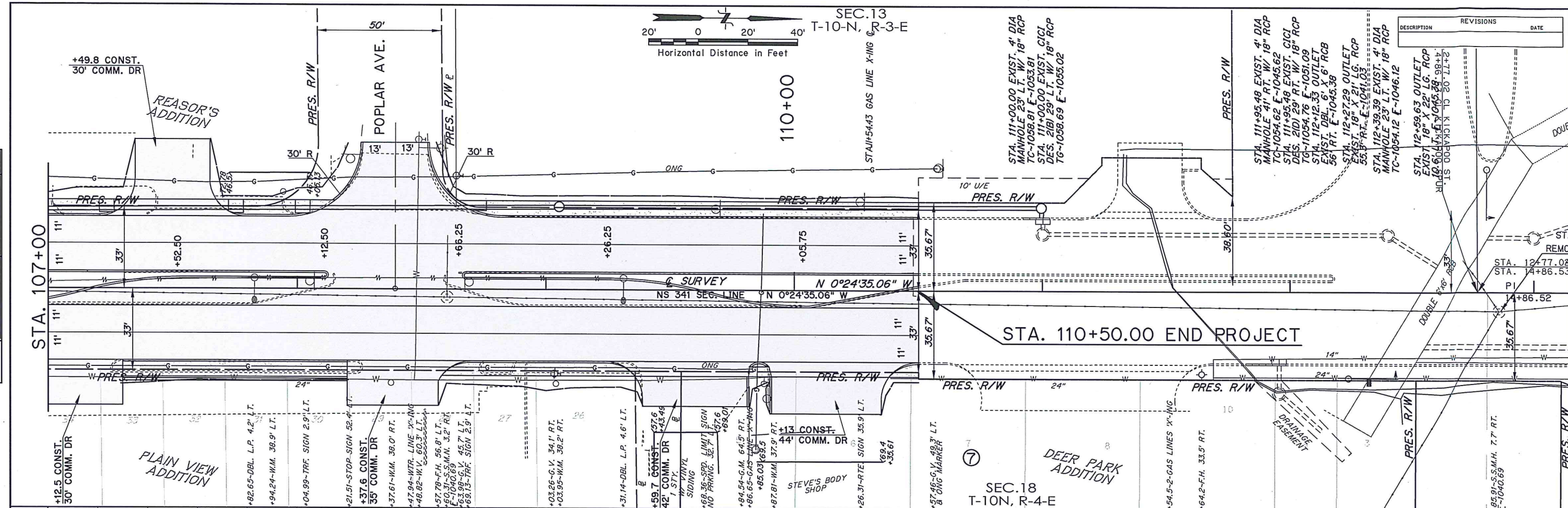
  

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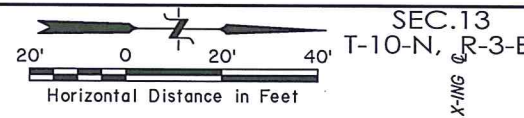
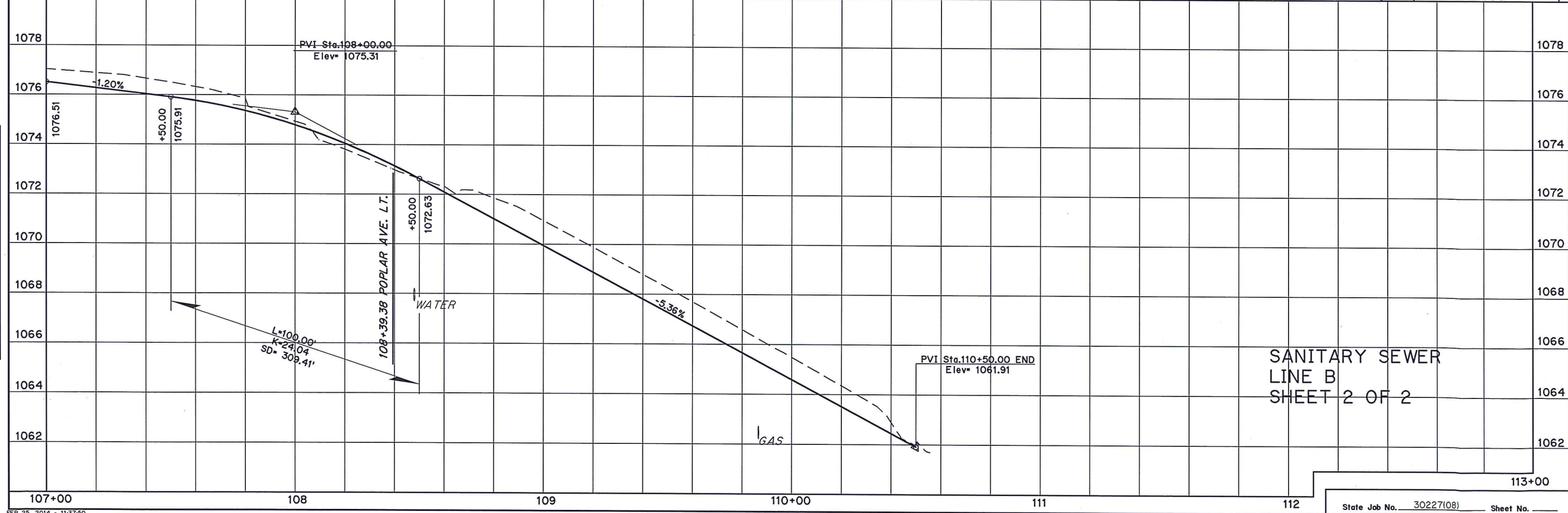
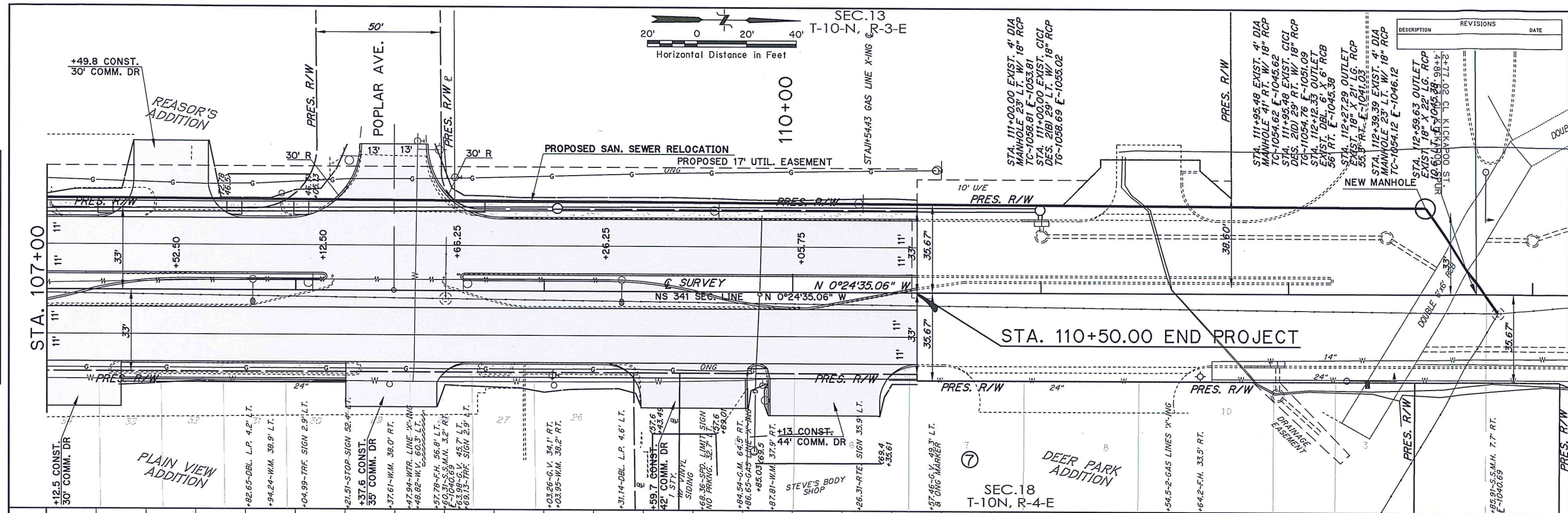
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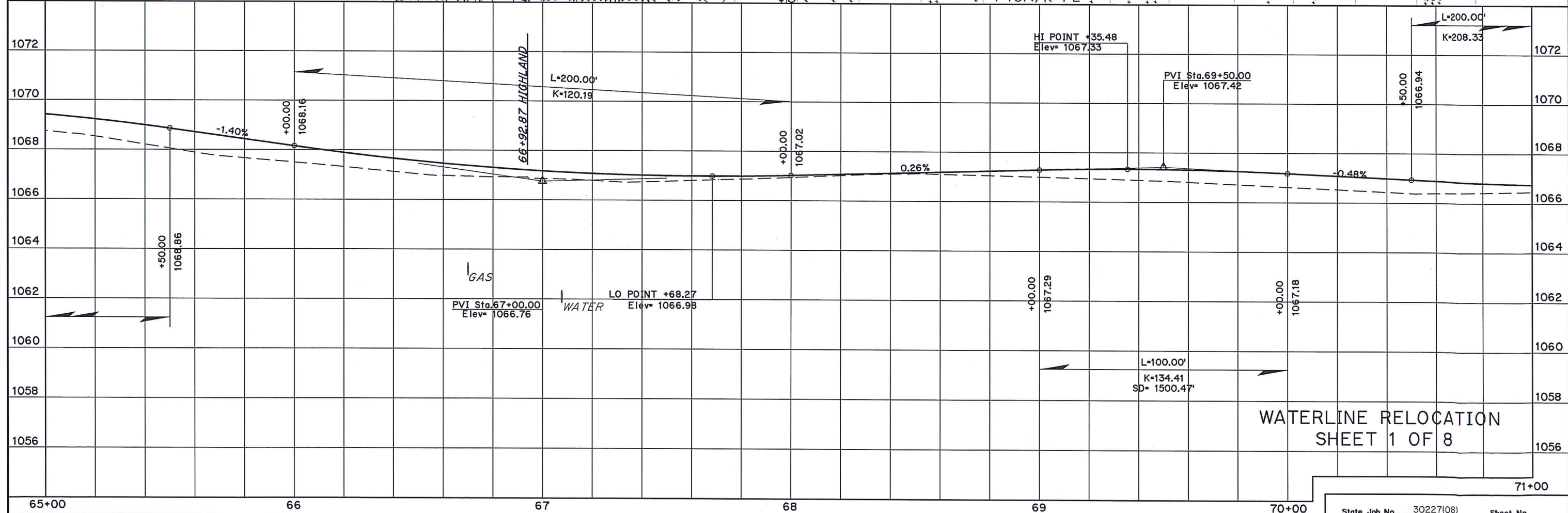
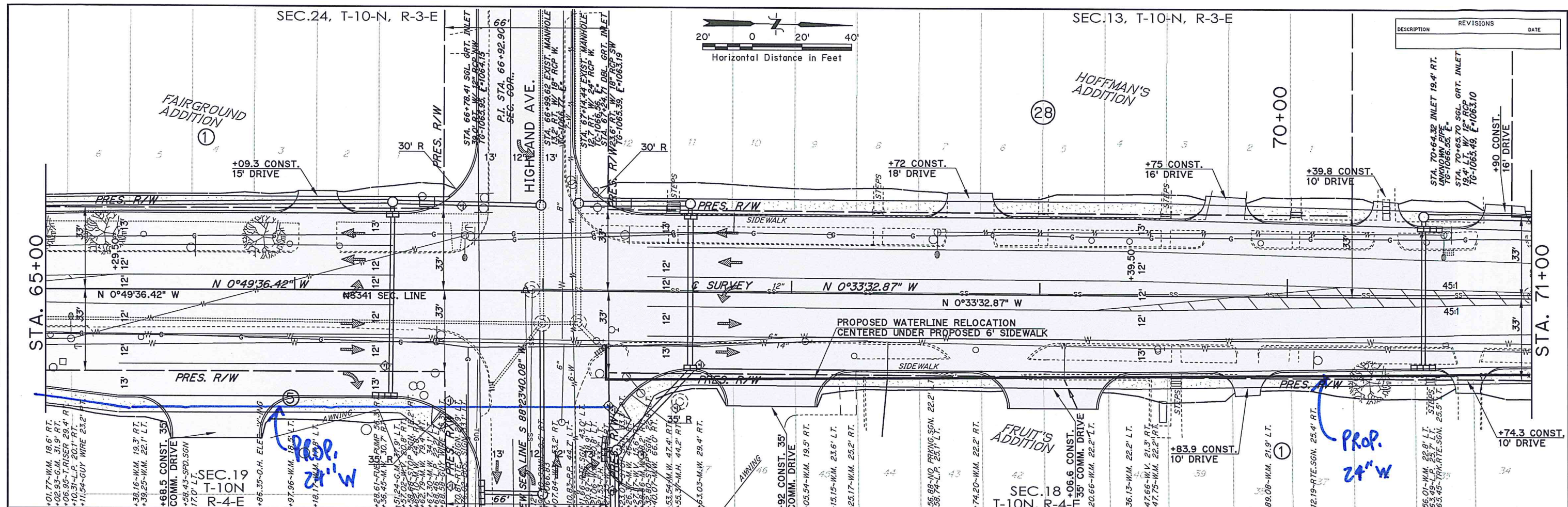
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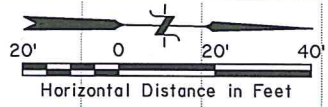
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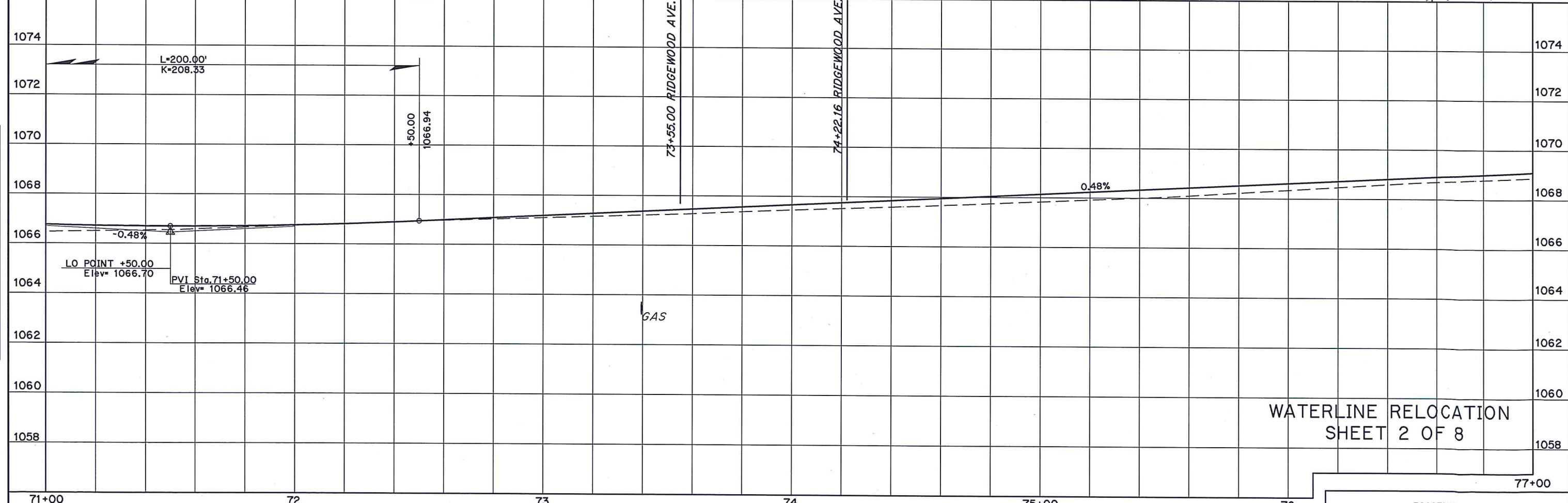
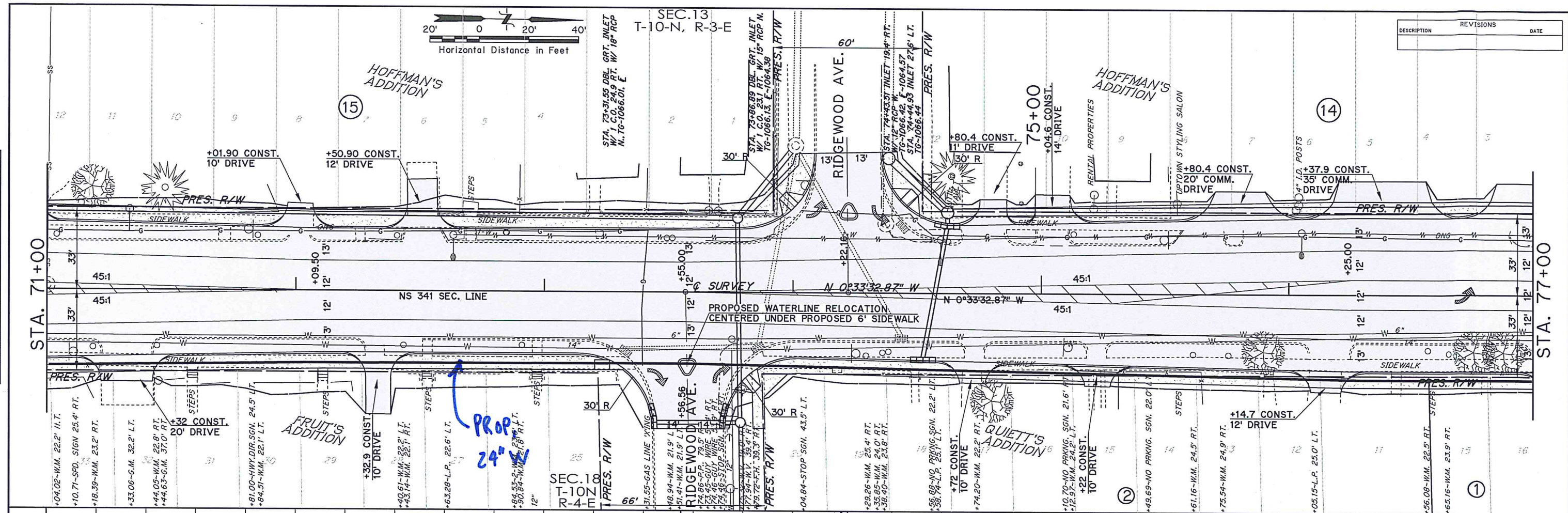


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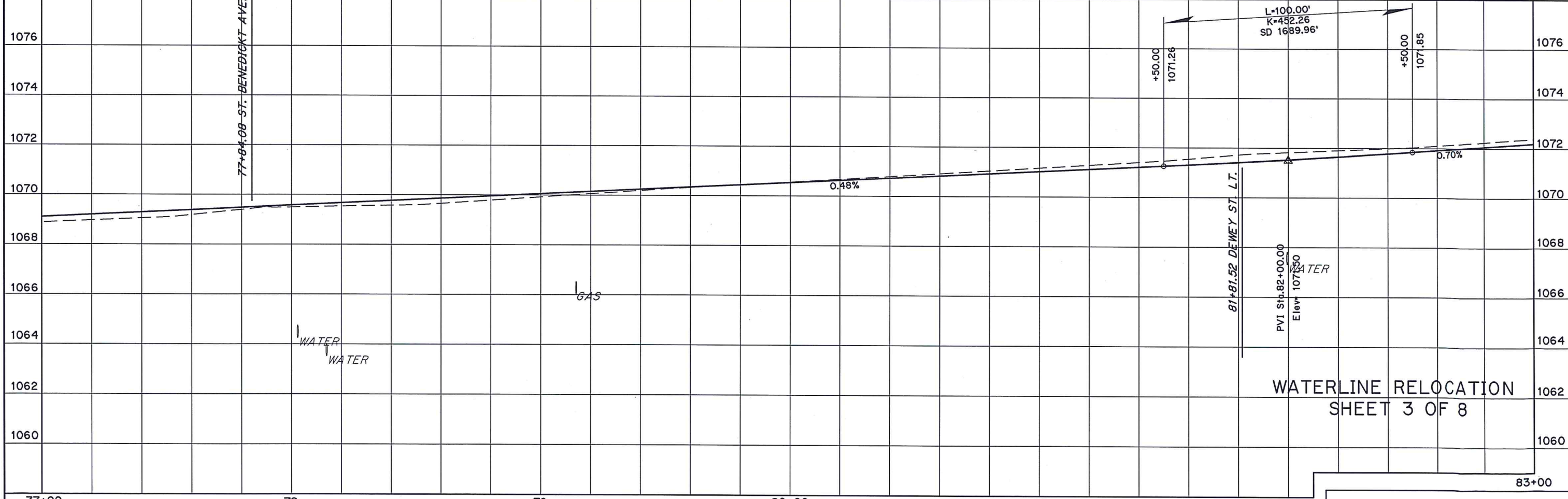
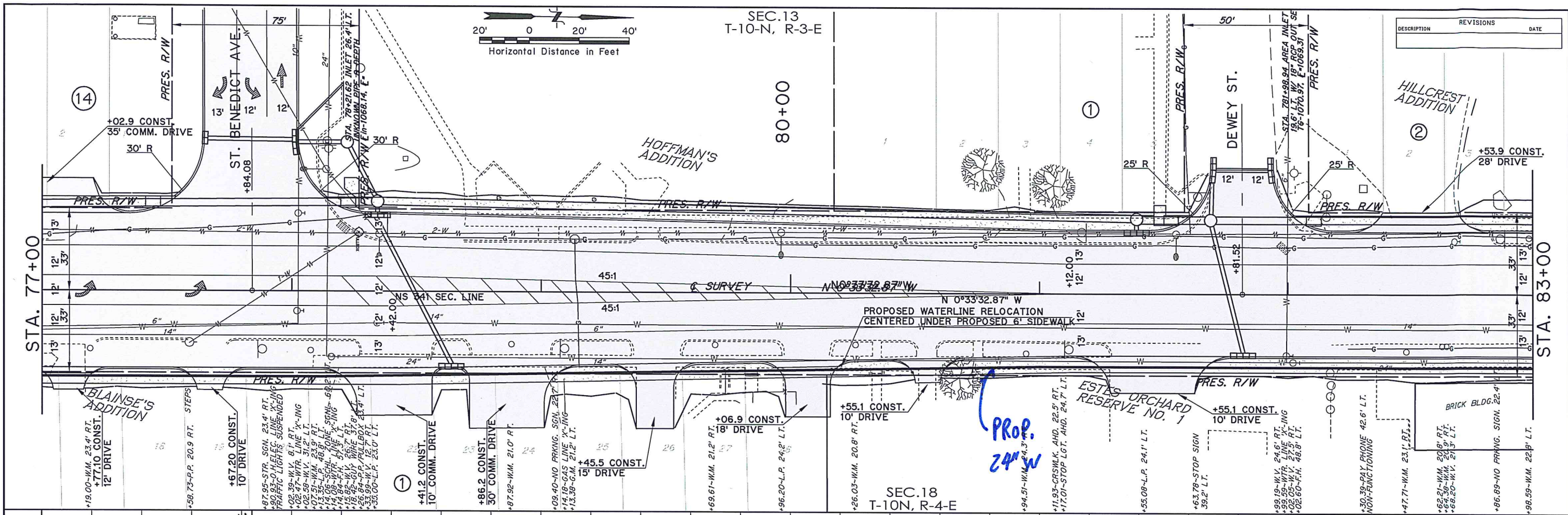
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WATERLINE RELOCATION  
SHEET 2 OF 8

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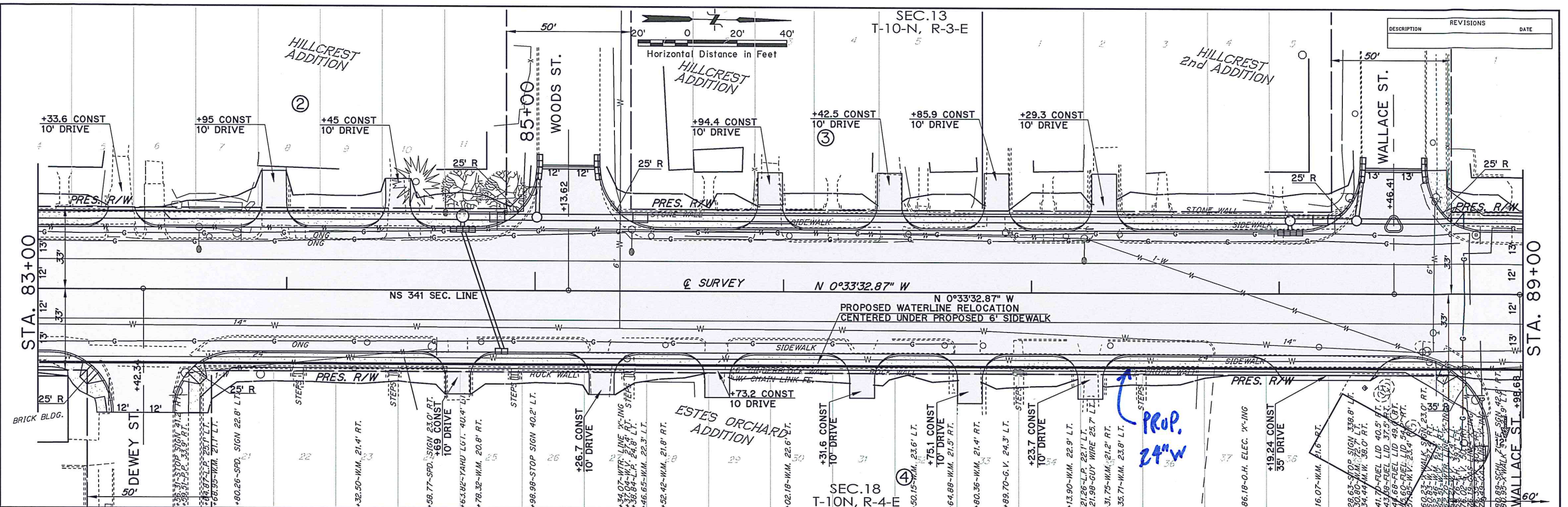
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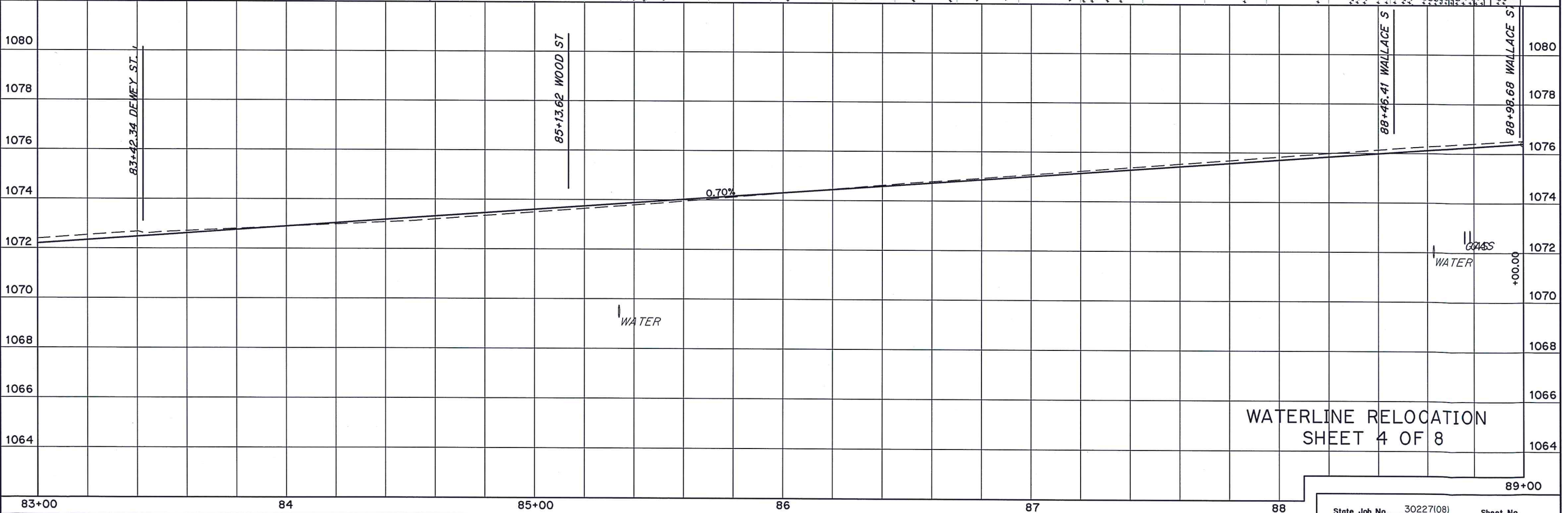
WATERLINE RELOCATION  
SHEET 3 OF 8

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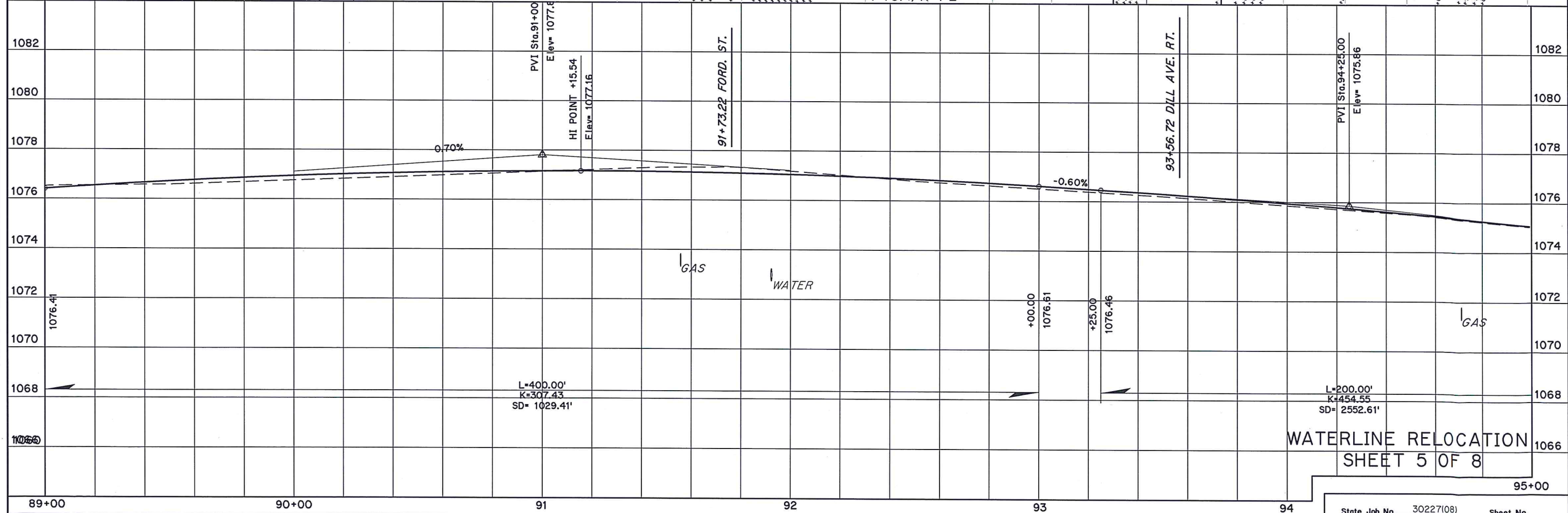
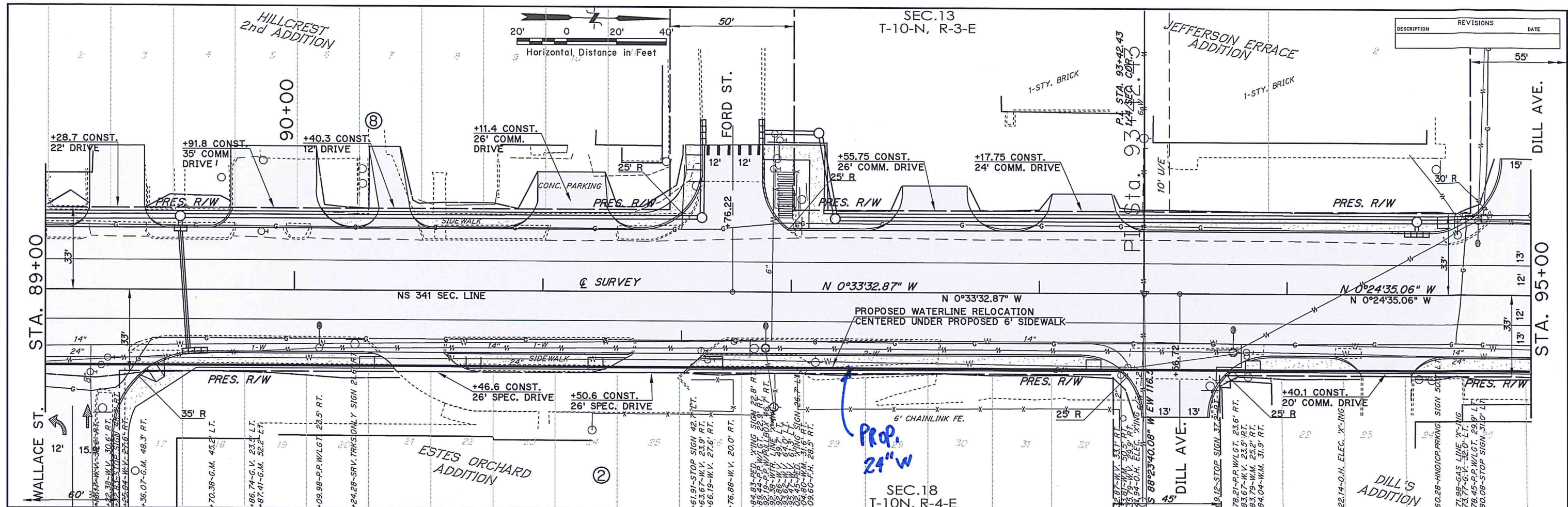
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WATERLINE RELOCATION SHEET 4 OF 8

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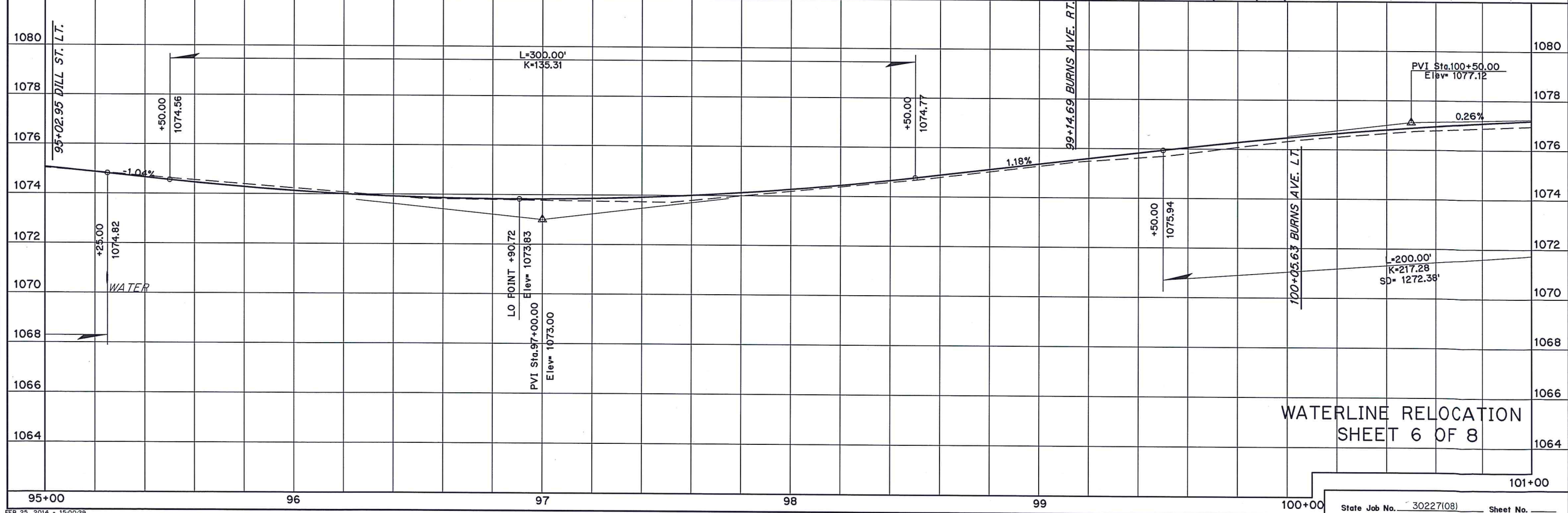
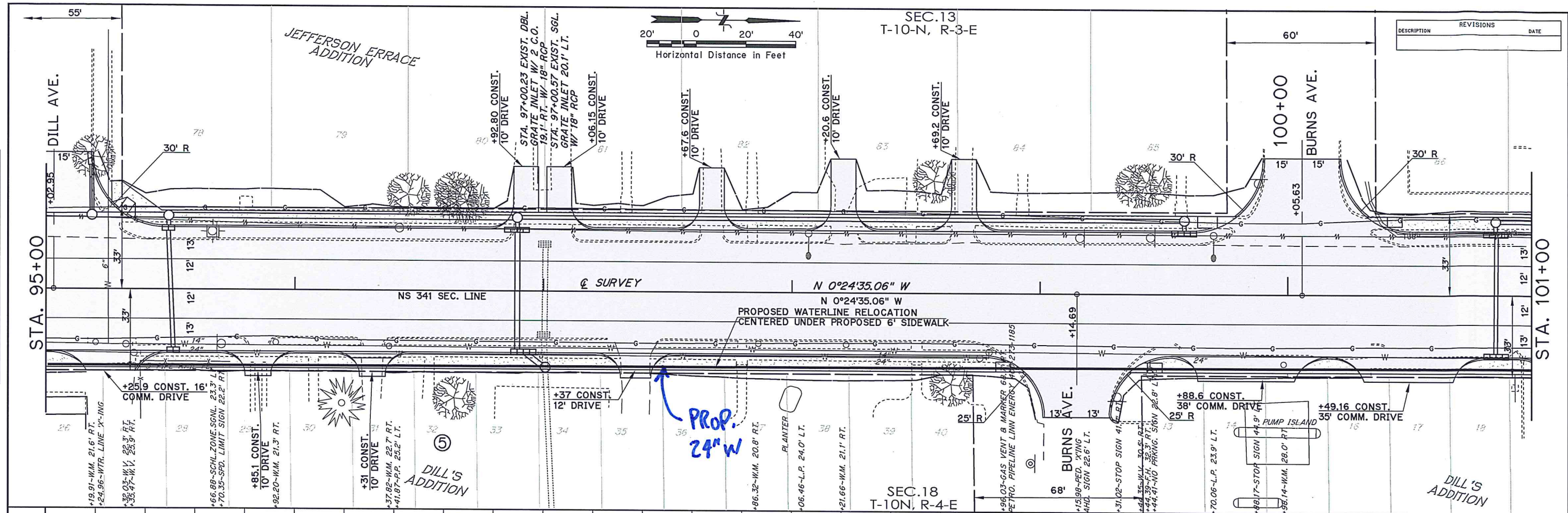
DATE	
BY	
PROFILE	SERVICES
NO. 1	NOTED
NO. 2	ALIGNED
NO. 3	CHECKED
NO. 4	RT. OF WAY
NO. 5	CHECKED



WATERLINE RELOCATION  
SHEET 5 OF 8

PLAN	SERVICED	DATE
NOTE BOOK	ALIGNED	
NO.	CHECKED	
	RT. OF WAY	

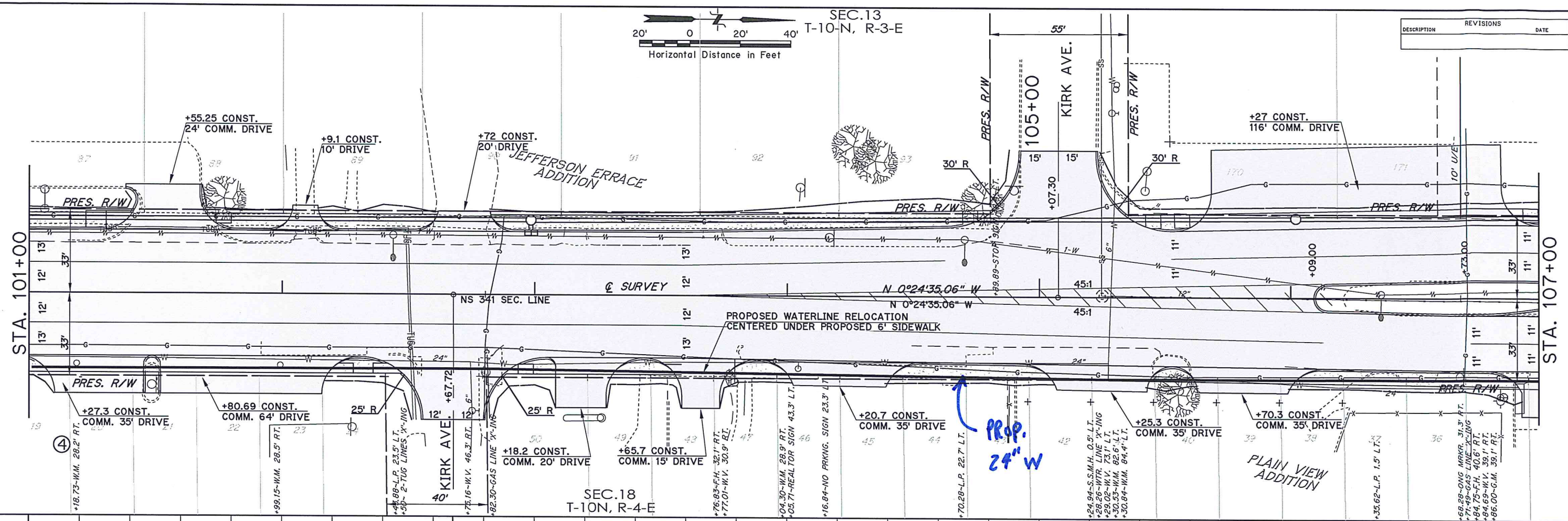
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NOTE BOOK	ALIGNED	
NO.	CHECKED	
	RT. OF WAY	



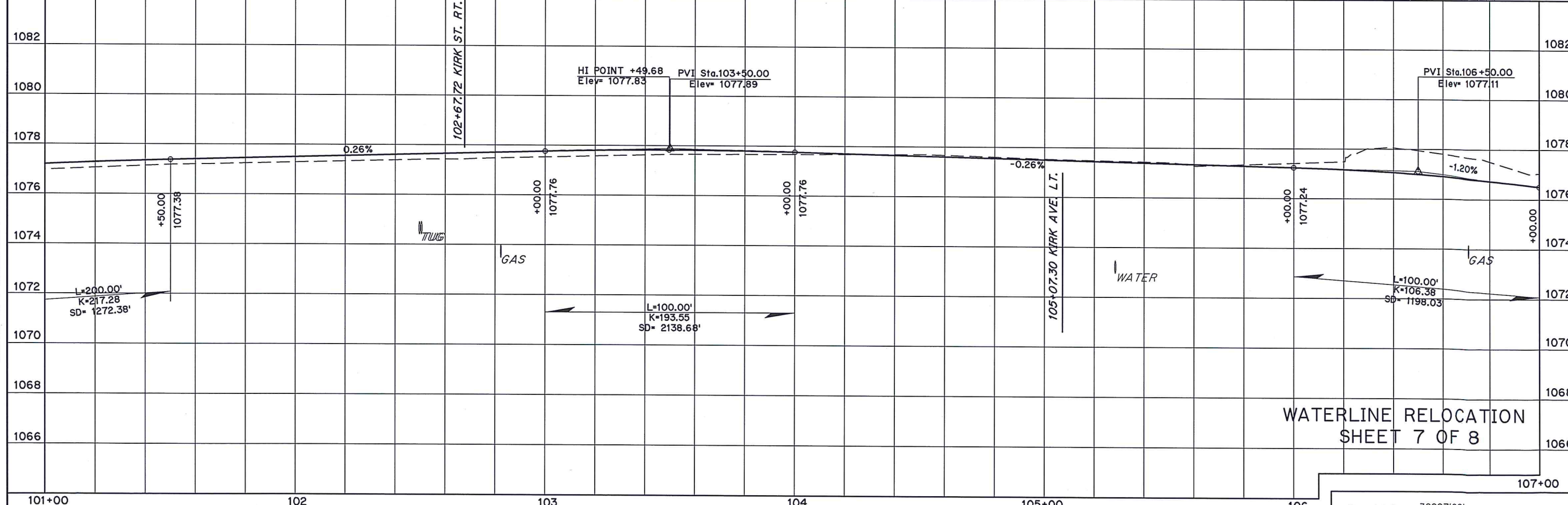
WATERLINE RELOCATION  
SHEET 6 OF 8

DESCRIPTION	REVISIONS	DATE

PLAN	DATE



PROFILE	DATE

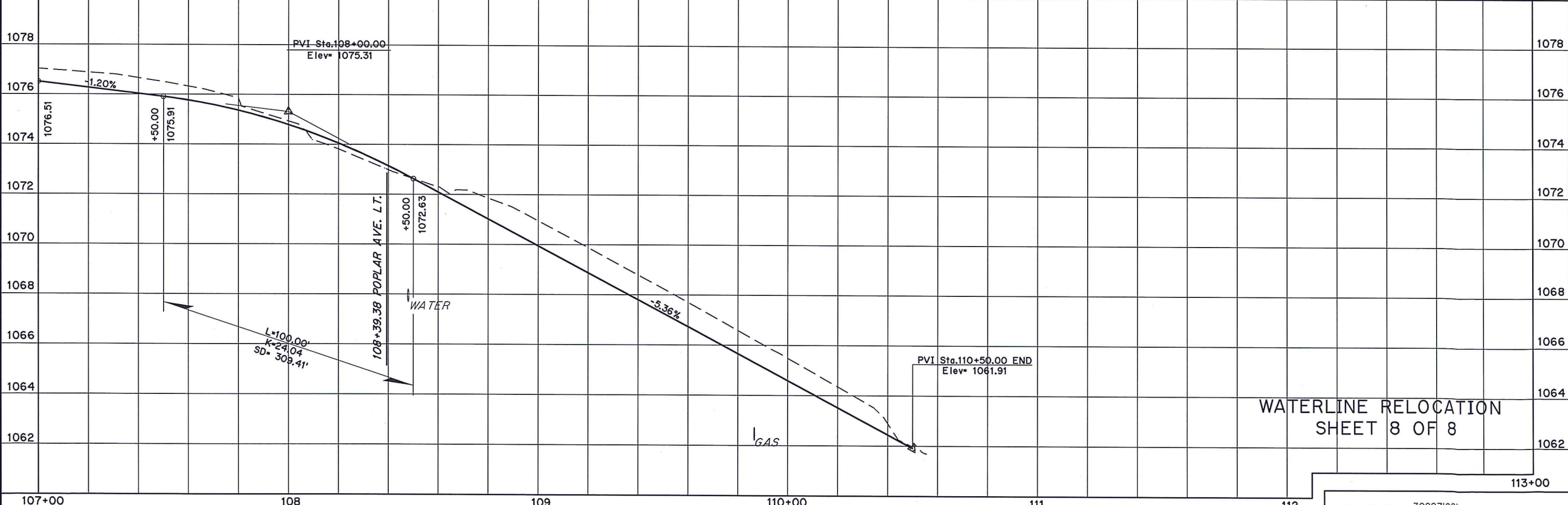
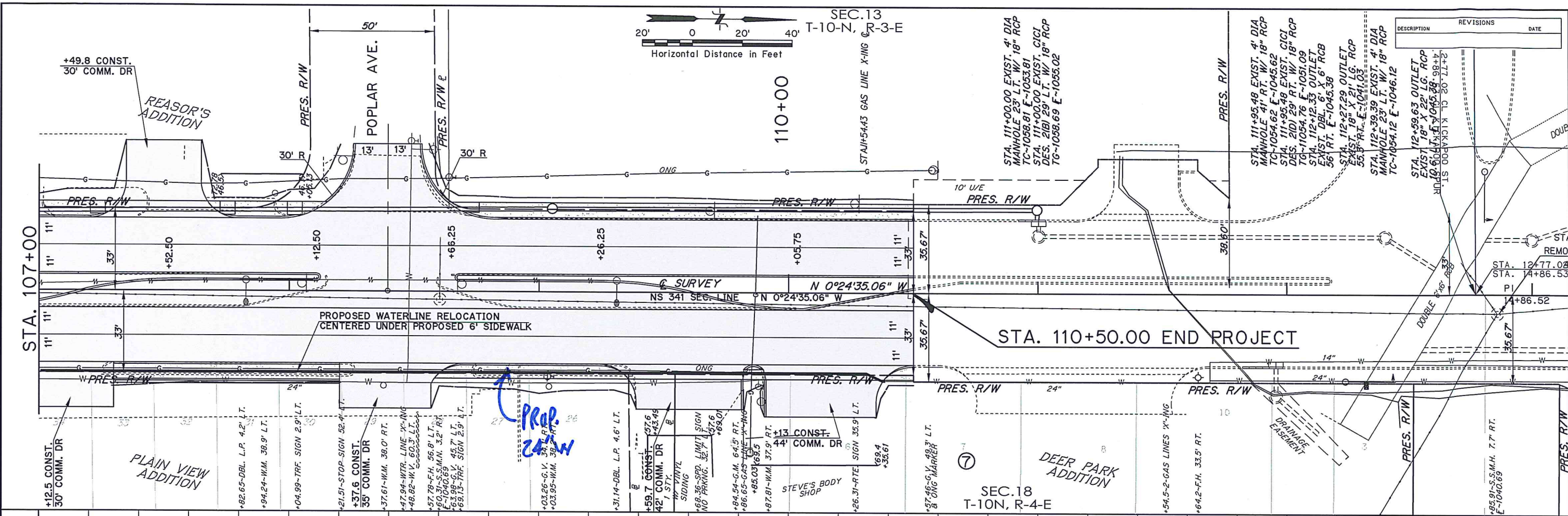


WATERLINE RELOCATION  
SHEET 7 OF 8



PLAN	DATE
NO.	
RT. OF WAY CHECKED	
ALIGNMENT CHECKED	
NOTED	
BY	

PROFILE	DATE
NO.	
RT. OF WAY CHECKED	
ALIGNMENT CHECKED	
NOTED	
BY	



REVISIONS	DATE

WATERLINE RELOCATION  
SHEET 8 OF 8

# Kickapoo - Farrall St. to the Kickapoo Spur

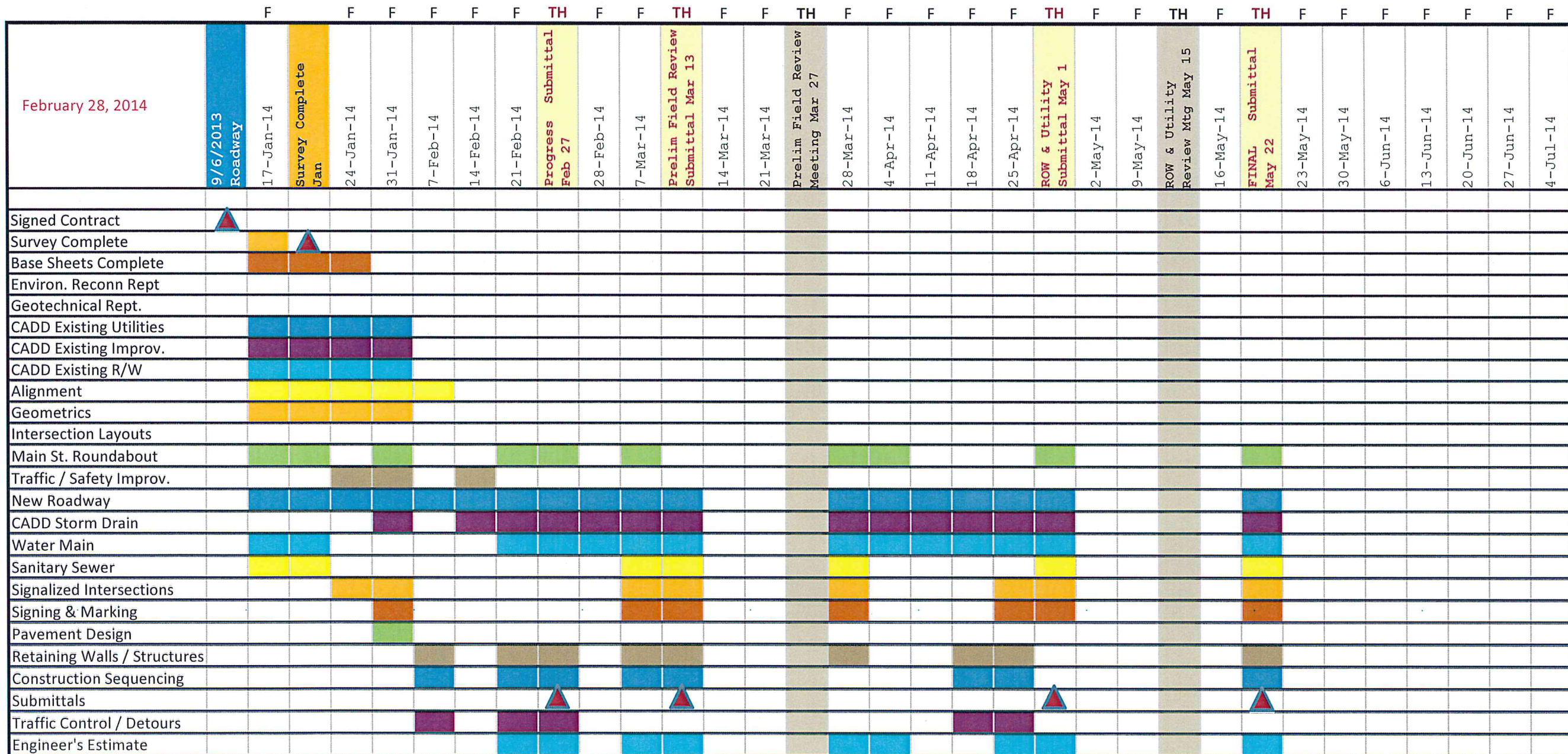
STPY - 255F (156) EC

Engineering Contract No.

1416E

Job Piece No. 30227 (08)

Roadway Design Schedule



2/28/2014